



Name of Project:	Fry Covered Patio - Setback
Location or Address:	37350 SOCKEYE ST SANDY OR 97055

Map & Tax Lot #	T:	R:	Section:	Tax Lot (s):
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Request:	Setback ADJUSTMENT REQUEST

- I am the (check one) owner lessee of the property listed above, and the statements and information contained herein are in all respects true, complete and correct to the best of my knowledge and belief.
- With submission of this application, I authorize representatives of the City of Sandy to access the property for the purpose of site investigation associated with this application.

Applicant (if different than owner)	Owner
Address	Address
City/State/Zip	City/State/Zip
Email	
Phone	
Signature	

Handwritten entries: PATRICK Fry, 37350 SOCKEYE ST, SANDY OR 97055







File #:	Date:	Fee \$:	Planner:
25003 ADJ	1/23/25	562.38	
Type of review:	Type I <input type="checkbox"/>	Type II <input checked="" type="checkbox"/>	Type III <input type="checkbox"/> Type IV <input type="checkbox"/>
Has applicant attended a pre-app?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, date of pre-app meeting:

Staff Use Only *includes #16.38 (tech fee)*

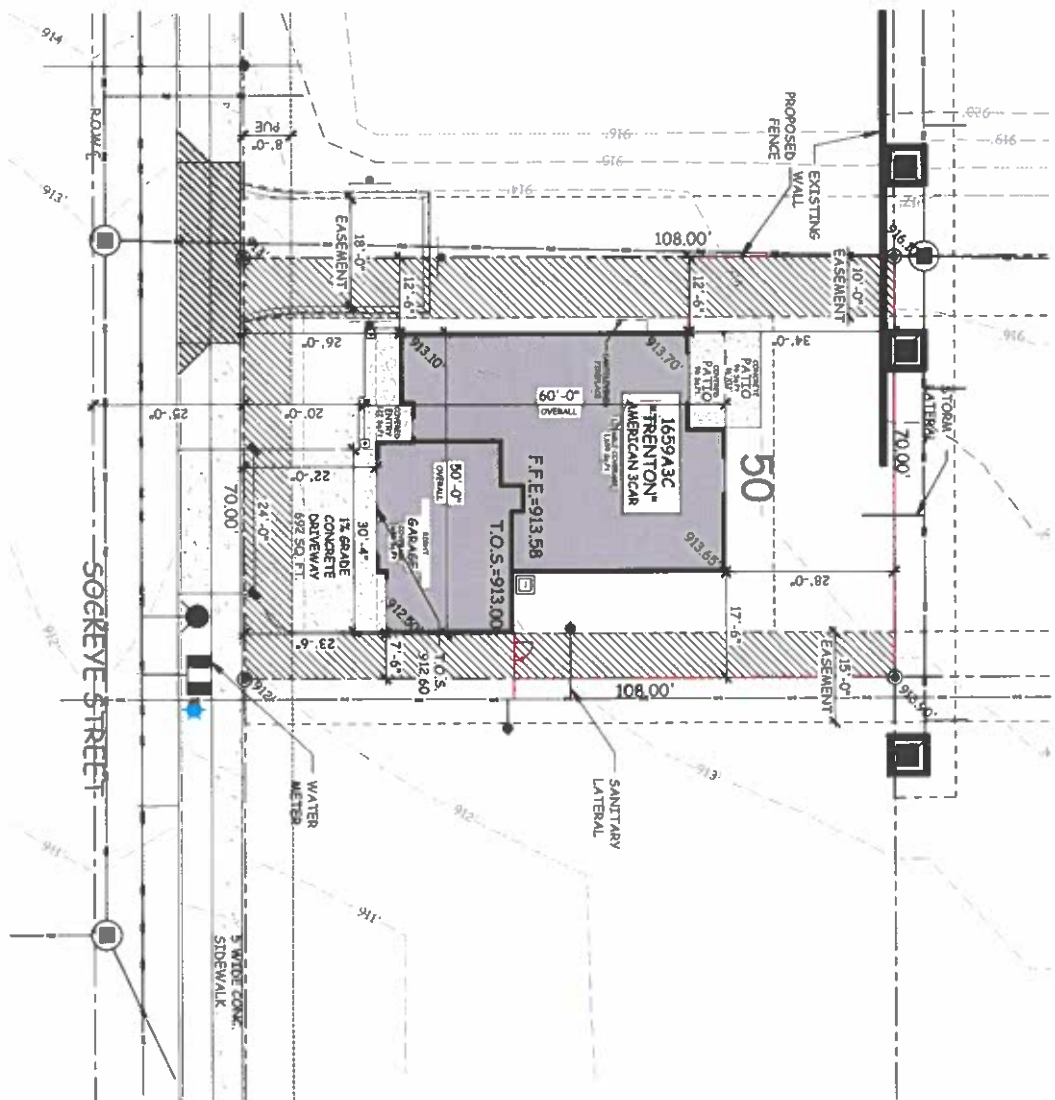
Contractor is responsible to check site plans and notify designer of any errors or omissions prior to start of construction. Plans and specifications shall be approved by local building officials prior to the start of any construction.

SITE LEGEND:

Utility Symbols:

-  FIRE HYDRANT
-  CATCH BASIN
-  STREET LIGHT
-  SANITARY SEWER
-  STORM DRAIN
-  WATER LINE

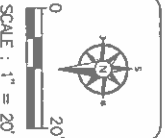
913.58	F.F.E.
913.25	T.O.W.
910.75	B.O.F.
EXCAVATE TO 34" BELOW FINISHED FLOOR ELEVATION.	



PROPOSED COVERAGE AREA:

HOUSE:	1,659 Sq. Ft.
GARAGE:	689 Sq. Ft.
DRIVEWAY/WALK:	692 Sq. Ft.
COVERED ENTRY:	122 Sq. Ft.
COVERED PATIO:	96 Sq. Ft.
UNCOVERED PATIO:	335 Sq. Ft.
TOTAL IMPERVIOUS:	2,567 Sq. Ft.
TOTAL COVERED:	2,567 Sq. Ft.

ZONING DISTRICT: SER	REQUIRED	EXISTING
MIN. FRONT/PORCH YARD SETBACK	10' (FROM RJ)	20'-0"
MIN. GARAGE SETBACK	22' (FROM RJ)	22'-0"
MIN. SIDE YARD SETBACK	7'-6" (FROM RJ)	7'-6"
MIN. REAR YARD SETBACK	20' (FROM RJ)	28'-0"
MIN. STREET SIDE YARD SETBACK	10' (FROM PL)	N/A
MAX. BUILDING COVERAGE FOR LOT	N/A	N/A
MAX. IMPERVIOUS SURFACE FOR LOT	60%	44.70%
MAX. BUILDING HEIGHT	35 FEET	26'-10"

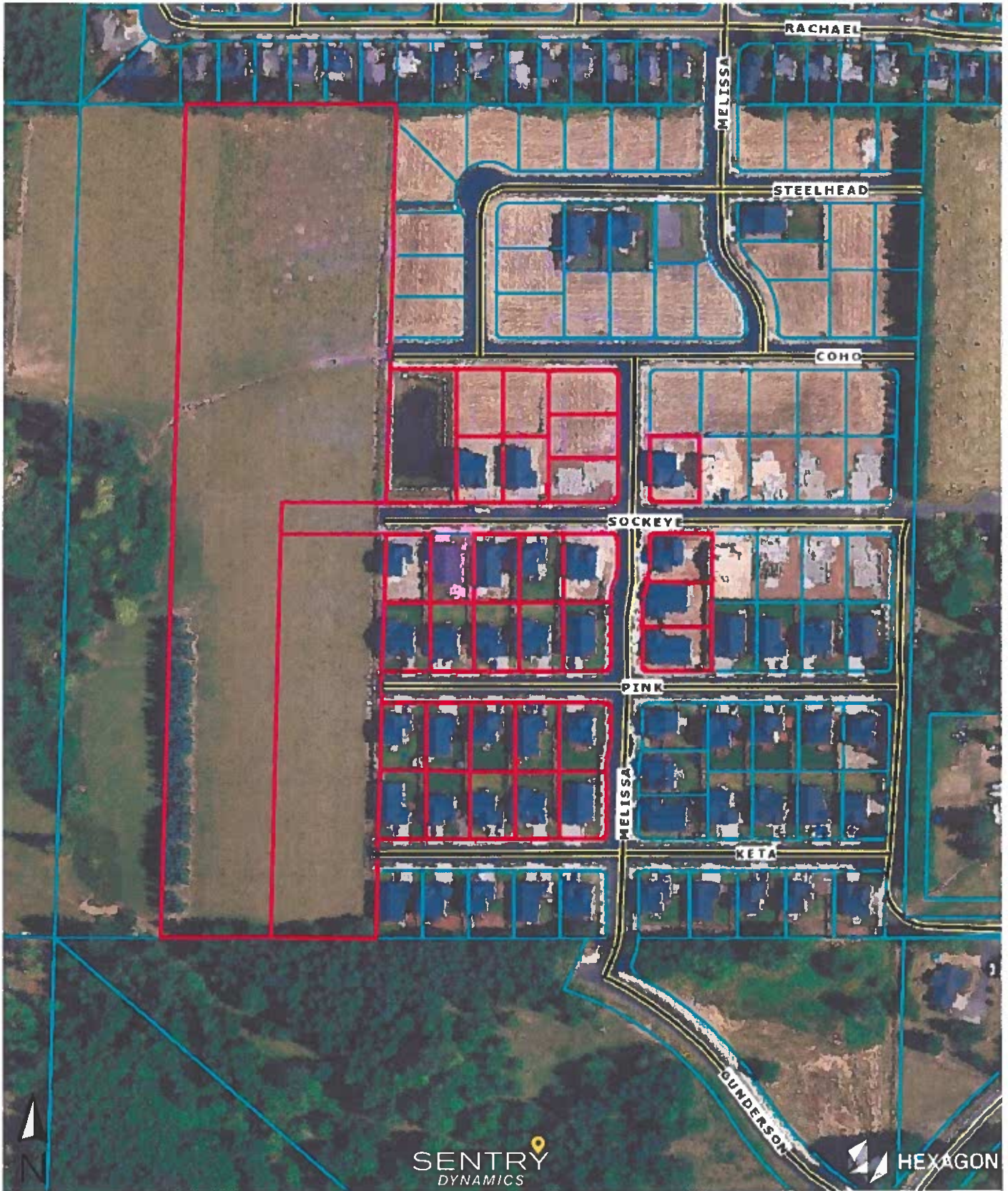


REVISIONS
 05-16-2021 WPM

SITE PLAN
SHAYLEE MEADOWS
 CITY OF SANDY, CLATSOP COUNTY, OREGON
 LOCATED IN A PORTION OF THE NW 1/4 OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 1 EAST, WILLAMETTE MERIDIAN

Street Address:
37350 SOCKEYE ST
HOME SITE #050
 7,560 Sq. Ft.

LENNAR
 11807 N.E. 99th Street
 Suite 1170
 Vancouver, WA 98682
 Office: 360.258.7900



CHICAGO TITLE

This map/plat is being furnished as an aid in locating the herein described land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.