



## Todd Prager & Associates LLC

### MEMORANDUM

**DATE:** September 5, 2024  
**TO:** Sam Nisley (Vaughn Bay Construction)  
**FROM:** Todd Prager, RCA #597, ISA Board Certified Master Arborist  
**RE:** Tree Removal at Cascade Creek Apartments

Vaughn Bay Construction is requesting the removal of four trees at the Cascade Creek Apartments site. The civil plan sheet with the four trees requested for removal is in Attachment 1. The trees requested for removal and the reasons are summarized in Table 1.

**Table 1: Four Trees Requested for Removal<sup>1</sup>**

Tree #	Common Name	Scientific Name	DBH	Condition	Retention Tree?	Reason for Removal
10	blue atlas cedar	<i>Cedrus atlantica</i>	21	good	yes	tree location error, wall is one foot south of the face of trunk
42	ponderosa pine	<i>Pinus ponderosa</i>	12	fair	no	increased risk of windthrow after removal of surrounding trees
43	ponderosa pine	<i>Pinus ponderosa</i>	10	fair	no	increased risk of windthrow after removal of surrounding trees
74	Douglas-fir	<i>Pseudotsuga menziesii</i>	9	fair	no	tree location error, sidewalk is directly adjacent to north side of trunk

Note that trees 42, 43, and 74 were not consider retention trees in the Final Order by the City of Sandy because they were either not in good condition and/or not over 11-inch trunk diameter (DBH).

Tree 10 was considered a retention tree in the Final Order. Final Order item 165 required a final arborist report to determine whether tree 10 could be retained. If tree 10 could not be retained, Final Order item 165 allowed the replacement of tree 10 with two additional native mitigation trees.

Note that Civil Sheet C-102 from the permit set dated March 7, 2024 included the following note:

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<sup>1</sup> All tree information tree information in Table 1 except for “Reason for Removal” are from the Tree Protection Plan by Washington Forestry Consultants dated December 22, 2022 and the Final Order for File Number 22-039 DR/VAR/MP/TREE dated July 11, 2023 by the City of Sandy. Note that the Final Order was partially based on a 3<sup>rd</sup> Party Review by Todd Prager & Associates dated May 11, 2023. The “Reason for Removal” was provided to Todd Prager & Associates on September 5, 2024 by Vaughn Bay Construction. This memorandum summarizes the reasons Vaughn Bay Construction is requesting the removal of four additional trees for review by the City of Sandy.

GENERAL NOTES:

1. TREE LOCATIONS ON PLAN HAVE NOT BEEN SURVEYED. LOCATIONS REFLECT TREE PROTECTION PLAN REPORT PREPARED BY WASHINGTON FORESTRY CONSULTANTS, INC., DATED 09/19/2023.

This lack of survey for tree locations may explain the discrepancies and conflicts associated with trees 10 and 74 on the civil plans when compared with their locations at the site.

In summary, three of the four trees requested for removal are not retention trees. Tree 10 requested for removal is a retention tree. The specific location of tree 10 was not surveyed, and appears to be in conflict with a proposed retaining wall based on markings at the site.

Please contact me if you have questions, concerns, or need any additional information.

Sincerely,



Todd Prager

*ASCA Registered Consulting Arborist #597*

*ISA Board Certified Master Arborist, WE-6723B*

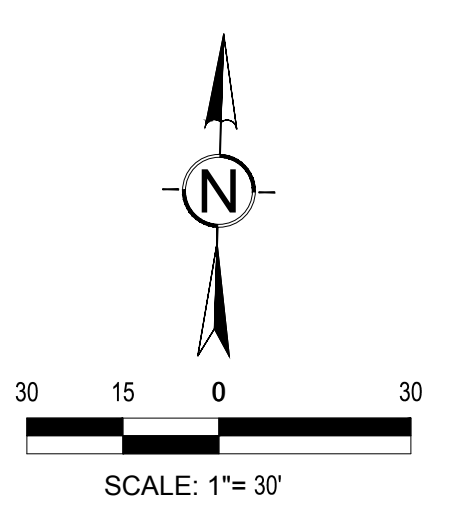
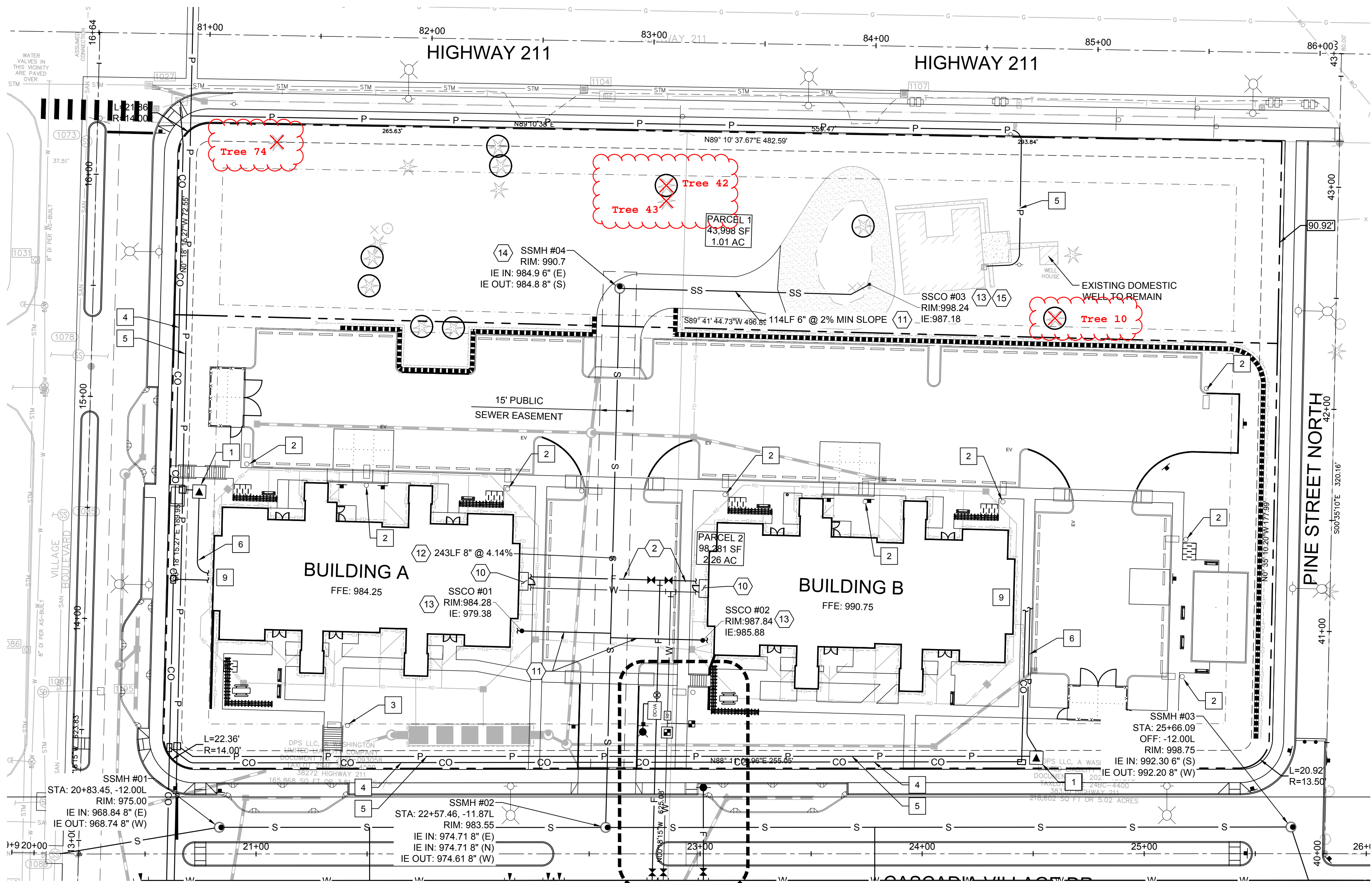
*ISA Qualified Tree Risk Assessor*

*ASCA Tree & Plant Appraisal Qualified*

*AICP, American Planning Association*

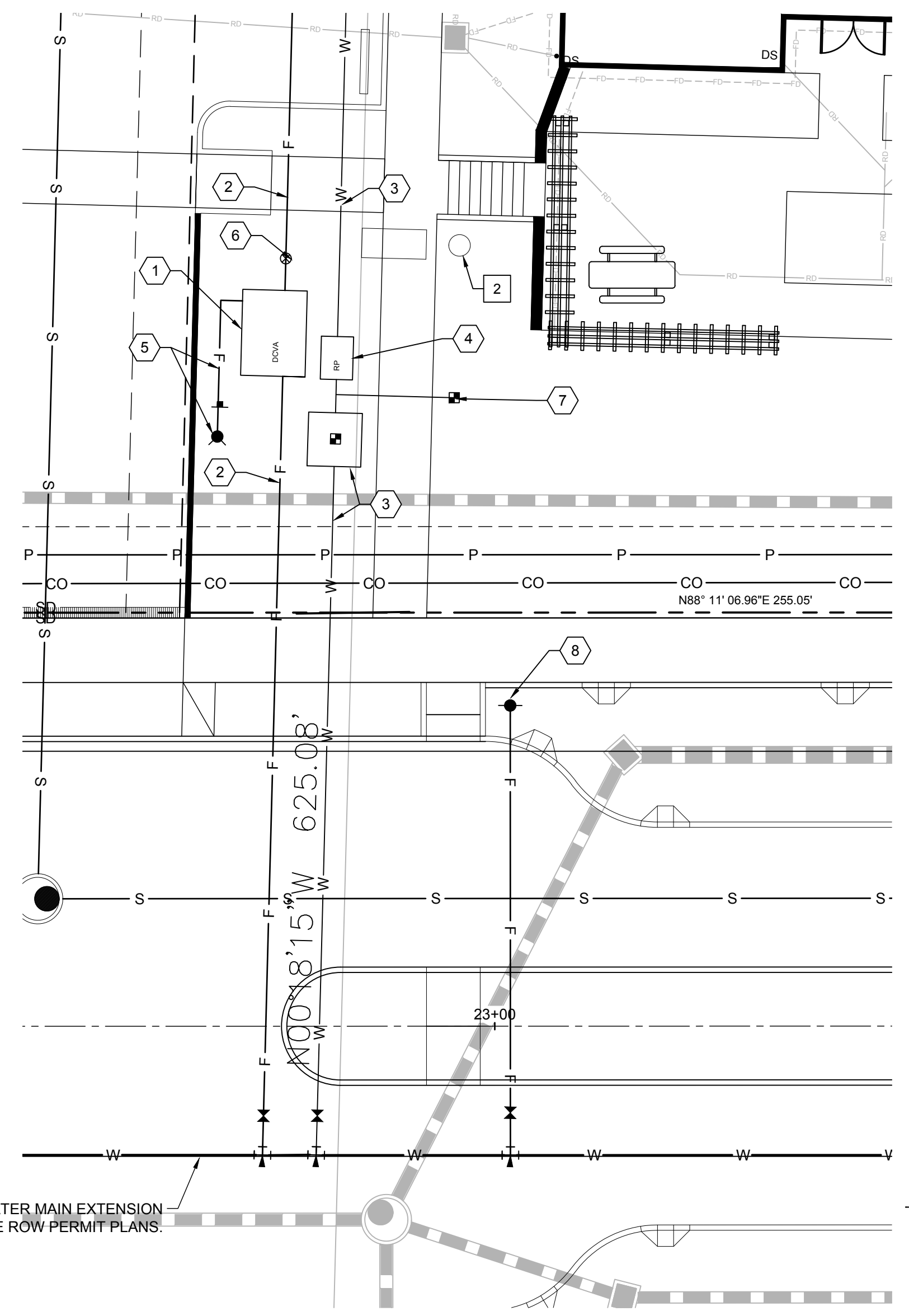
Attachment 1: Civil Plan Sheet with the Four Trees Requested for Removal





**UTILITY LEGEND**

W	WATER MAIN LINE
W	WATER SERVICE LINE
F	FIRE WATER LINE
■	FIRE WATER METER
●	FIRE DEPARTMENT CONNECTION
●	FIRE HYDRANT
S	SANITARY SEWER LINE
SS	SANITARY SEWER SERVICE LINE
●	SANITARY SEWER CLEAN OUT
●	SANITARY SEWER MANHOLE
P	POWER LINE
CO	COMMUNICATION LINE
□	POWER VAULT
▲	ELECTRICAL TRANSFORMER



**FIRE AND DOMESTIC SERVICES DETAIL NORTH**  
SCALE: NTS

**GENERAL NOTES:**

- REFER TO OFF-SITE PLANS UNDER SEPARATE ROW PERMIT FOR WATER, SEWER, AND OTHER UTILITY EXTENSIONS NOT SHOWN ON PLANS.
- REFER TO ELECTRICAL PLANS FOR POWER AND COMMUNICATION DISTRIBUTION AND SERVICES.

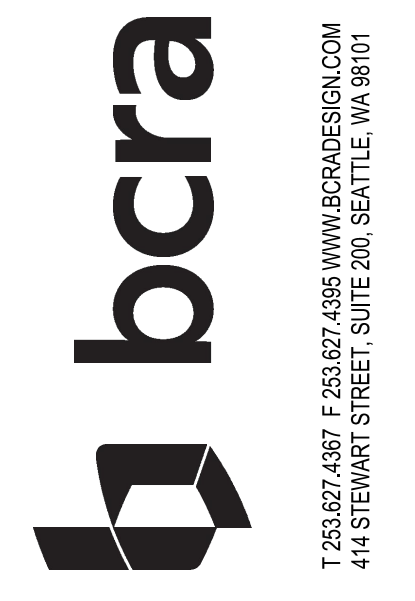
**WATER & SEWER NOTES**

- 6" DOUBLE CHECK VALVE IN VAULT WITH REMOTE FDC PER DETAIL.
- 6" DI CL52 FIRE SPRINKLER SERVICE LINE WITH FULL RESTRAINT AT EACH JOINT.
- 4" DI CL52 DOMESTIC WATER SERVICE CONNECTION AND METER PER DETAIL.
- REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY IN HOTBOX ON 4" CONCRETE PAD PER DETAIL.
- FDC STANDPIPE PER DETAIL.
- POST INDICATOR VALVE PER DETAIL.
- 2" PE IRRIGATION LINE WITH SEPARATE PRIVATE DEDUCT METER AND AMI READER. REFER TO LANDSCAPE PLANS FOR BACKFLOW ASSEMBLY.
- NEW MUELLER SUPER CENTURION HYDRANT WITH RED FACTORY COATING. UNDER SEPARATE PERMIT. REFER TO OFF-SITE PERMIT SET.
- 4" RESILIENT WEDGE GATE VALVE IN VALVE BOX PER DETAIL.
- FIRE SPRINKLER RISER ROOM SEE MECHANICAL PLANS FOR CONTINUATION.
- 6" PVC SDR-35 SANITARY SEWER SERVICE AT MIN. 2.0% SLOPE.
- 8" PVC SDR-35 PUBLIC SANITARY SEWER MAIN AT MIN. 1.0% SLOPE.
- SANITARY SEWER CLEANOUT PER DETAIL.
- PUBLIC SANITARY SEWER MANHOLE PER DETAIL.
- CONNECT TO EXISTING SEWER CLEANOUT. CONTRACTOR SHALL FIELD VERIFY SIZE LOCATION AND DEPTH PRIOR TO CONSTRUCTION.

**POWER & TELECOMMUNICATION NOTES**

- PAD MOUNTED TRANSFORMER. REFER TO ELECTRICAL PLANS FOR DETAILS.
- PARKING LOT LIGHT POLE WITH 24-INCH CONCRETE BASE. REFER TO ELECTRICAL PLANS FOR DETAILS.
- PEDESTRIAN LIGHT POLE WITH 18-INCH CONCRETE BASE. REFER TO ELECTRICAL PLANS FOR DETAILS.
- (2) 4" PVC SCH 40 COMMUNICATION SERVICE CONDUITS. REFER TO ELECTRICAL PLANS. CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY FOR SERVICE AGREEMENT.
- (2) 4" PVC SCH 40 PRIMARY POWER SERVICE CONDUITS.
- 4" PVC SCH 40 SECONDARY POWER SERVICE CONDUITS. REFER TO ELECTRICAL PLANS FOR DETAILS.
- PRECAST CONCRETE HANDHOLE PER ELECTRICAL PLANS.
- ELECTRIC VEHICLE CHARGING STATION. REFER TO ELECTRICAL PLANS.
- ELECTRIC METER BANK. SEE ELECTRICAL PLANS FOR DETAILS.

DATE PLOTTED: 3/21/2024 9:42:30 AM FILENAME: 2125C-401-402.DWG BY: ...



**PROJECT:**  
CASCADE CREEK APARTMENTS  
38272 OR-211  
SANDY, OR 97055

**REVISIONS**

NO.	DESCRIPTION

**DATE:** 03.07.2024  
**BCRA NO.:** 21129  
**DRAWN BY:** RJB **DESIGNED BY:** MB  
**REVIEWED BY:** SMP  
**SHEET TITLE:** UTILITY PLAN NORTH



**Attachment 1**



**C-401**

PERMIT SET

IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.