



Todd Prager & Associates_{LLC}

MEMORANDUM

DATE: October 8, 2024

TO: Ryan Hatch (Vanport Manufacturing)

FROM: Rick Till, ISA Board Certified Master Arborist PN-8358B

RE: Tree Assessment for 39247 Hood St, Sandy, OR 97055

Summary

The City of Sandy received a complaint that dead, standing trees located at 39247 Hood Street “may pose a hazard of falling.” The City requested the property owner have the trees evaluated by an arborist and provide a current arborist report and, if appropriate, submit an application to remove the trees. This report provides a concise assessment of dead trees, a general assessment of risk, and recommendations for removal.

Background

The property at 39247 Hood Street has multiple trees subject to retention requirements related to past development. Several trees have died and a community complaint was submitted expressing concern that the trees pose a risk to the public. Todd Prager and Associates was contracted to assess the trees.

Assignment

The scope of work requested of our firm was to assess the dead trees at 39247 Hood Street and prepare a report addressing the City of Sandy’s tree removal permit requirements.

Observations

I visited 39247 Hood Street on October 2, 2024. A scaled site plan depicting the property boundaries and approximate location of trees is included as Attachment 1.¹ Photos of the trees are included as Attachment 2. Steep slopes and extensive Himalayan blackberry (*Rubus armeniacus*) limited access to the trunks of trees, preventing the collection of diameter measurements and assessment of the lower trunk and root flare.

I observed five dead Douglas-firs (*Pseudotsuga menziesii*) that appeared to be greater than 11-inches DBH. Three of the dead trees appear to be greater than 20-inches DBH and more than 120 feet tall. One dead tree is between 11-inch and 20-inch DBH and approximately 50 feet tall. A fourth tree is greater than 20-inches DBH, but less than 20 feet tall due to a past stem failure.

¹ Attachment 1 includes a tax lot map depicting property boundaries and Google Earth image that provides greater resolution for location of trees.

One additional Douglas-fir and three big-leaf maples (*Acer macrophyllum*) greater than 11-inch DBH were observed. Their approximate location is depicted in Attachment 1. One additional Douglas-fir less than 10-inches in diameter was observed, but is not depicted on the site plans.

Four of the dead trees present a hazard or danger to person or property and the hazard or danger cannot be reasonably alleviated by treatment or pruning. The fifth dead Douglas-fir does not pose a hazard or danger to persons or property due to the prior stem failure. The dead trees should be removed or reduced (topped) at a height no greater than 20 feet. Reducing the trees to less than 20 feet would retain habitat while eliminating the risk of a tree failure reaching parked cars or people using the sidewalk.

Removal should be performed by a qualified arborist.² Tree removal should be performed in a controlled manner (directional felling or rigging) to avoid impacts to adjacent live trees to be retained.

Conclusion

Four dead, standing trees located at 39247 Hood Street “pose a hazard of falling” and should be removed or reduced to a height of less than 20 feet.

Please let me know if you have any questions about the information provided in this report.

Sincerely,



Rick Till

ISA Board Certified Master Arborist® PN-8358B
ISA Qualified Tree Risk Assessor
Member, American Society of Consulting Arborists
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Enclosures: Attachment 1 – Site Map
Attachment 2 – Photos
Attachment 3 – Assumptions and Limiting Conditions

² The ANSI Z133 (American National Standard for Arboricultural Operations – Safety Requirements) defines a *qualified arborist* as, “an individual who, by possession of a recognized degree, certification, or professional standing, or through related training and on-the-job experience, is familiar with the equipment and hazards involved in arboricultural operations and who has demonstrated ability in the performance of the special techniques involved.”



Objectid: 64180
Primary Address: 39247 Hood St, Sandy, 97055
Jurisdiction: Sandy (<https://www.ci.sandy.or.us>)
Map Number: 24E13AC
Taxlot Number: 24E13AC06300
Parcel Number: 05030799
Document Number:
Census Tract: 023404
Landclass: 100

Assessment

Disclaimer & Liability

The information and maps accessed through this web site provide a visual display for your convenience using data from Clackamas County's Geographic Information System. Every reasonable effort has been made to assure the accuracy of the maps and associated data from several sources. Clackamas County makes no warranty, representation or guarantee as to the content, sequence, accuracy, timeliness or completeness of any of the data provided herein. Clackamas County explicitly disclaims any representations and warranties, including, without limitation, the implied warranties of merchantability and fitness for a particular purpose. Clackamas County shall assume no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused. Clackamas County assumes no liability for any decisions made or actions taken or not taken by the user of this information or data furnished hereunder. Users are strongly advised to verify from authoritative sources any information displayed in this application before making decisions.

Liability Statement (<http://www.clackamas.us/liability.html>)

39247 Hood Street

Tree Plan

Attachment 1

Legend

July 24, 2021 Google Earth Image

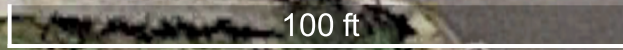
Bigleaf maples greater than 11" DBH.

Live Douglas-fir, greater than 11" DBH.

Five dead Douglas-firs

Off-site trees.

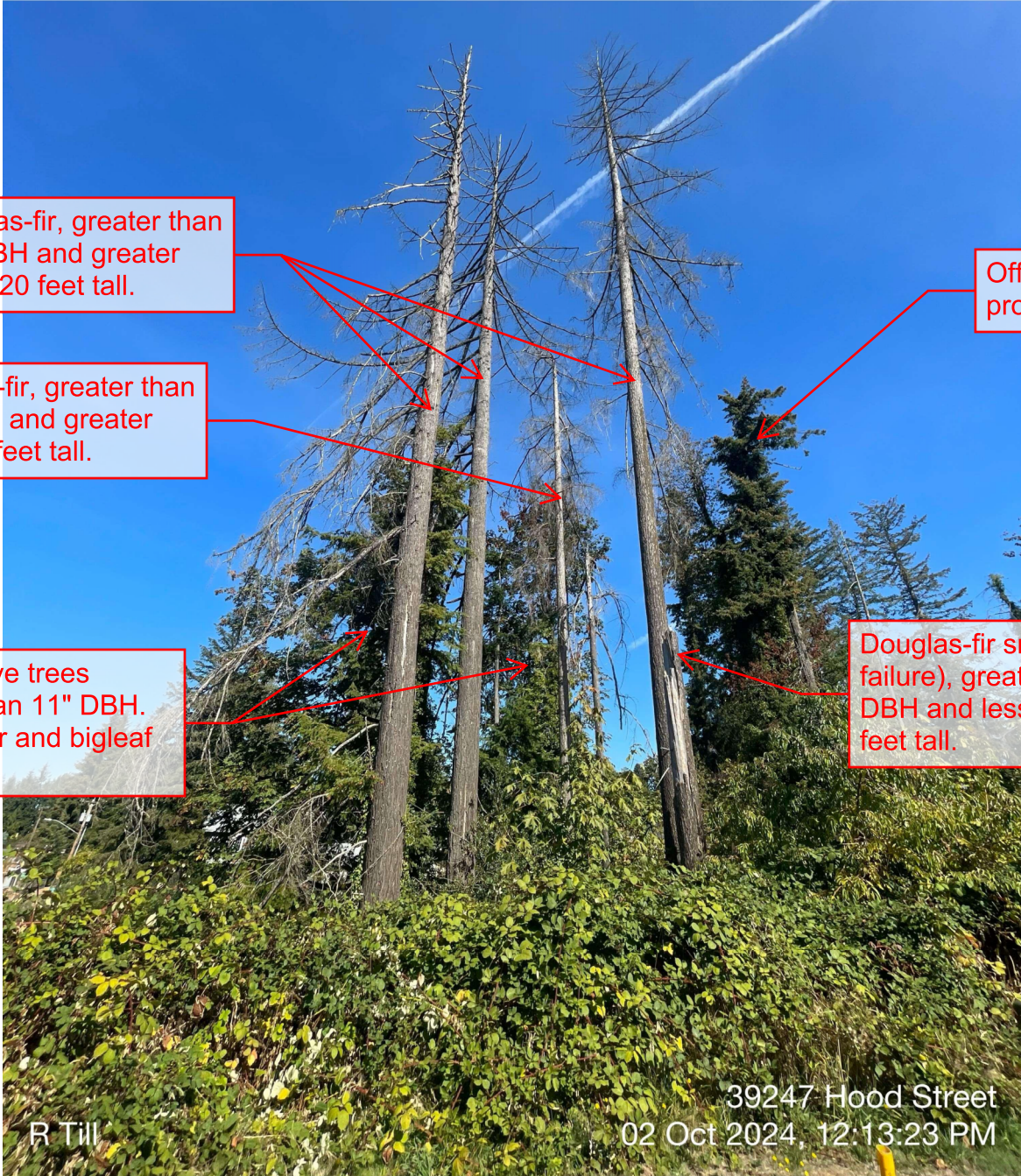
Google Earth



Attachment 2 Photos

South Elevation

☉ 16°N (T) ☉ 45°23'55"N, 122°15'33"W ±13ft ▲ 953ft



Douglas-fir, greater than 20" DBH and greater than 120 feet tall.

Douglas-fir, greater than 12" DBH and greater than 50 feet tall.

On-site, live trees greater than 11" DBH. Douglas-fir and bigleaf maples.

Off-site trees on property to east.

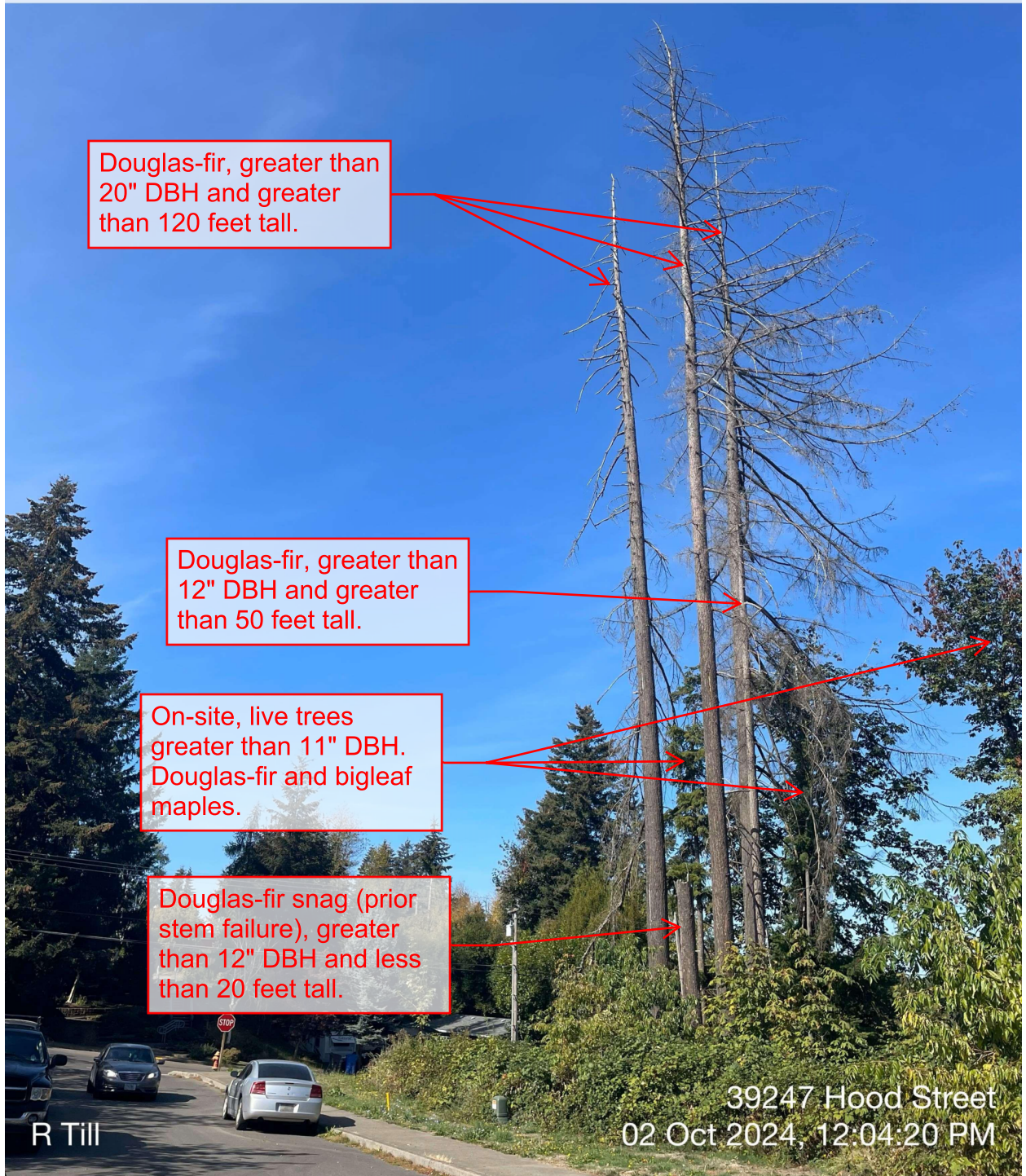
Douglas-fir snag (prior failure), greater than 12" DBH and less than 20 feet tall.

R Till

39247 Hood Street
02 Oct 2024, 12:13:23 PM

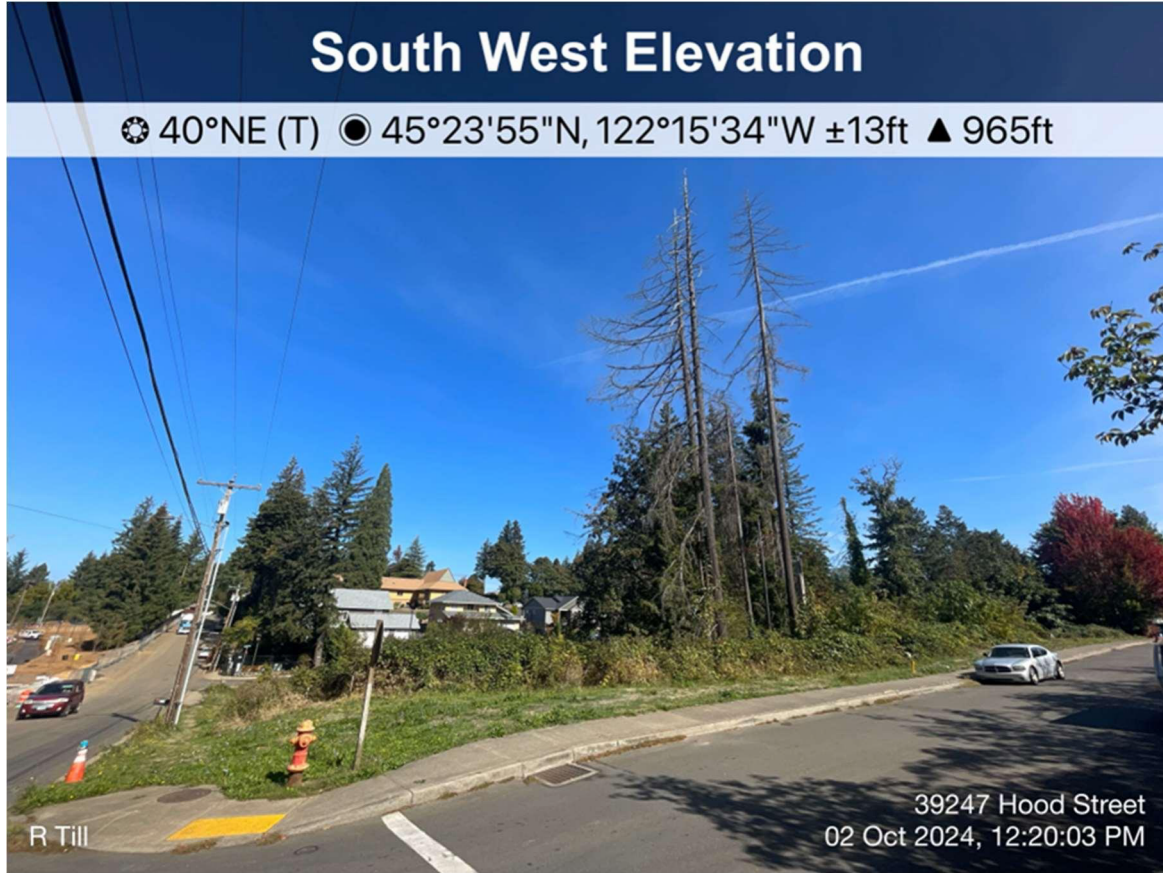
East Elevation

☉ 285°W (T) ● 45°23'55"N, 122°15'31"W ±13ft ▲ 962ft



R Till

39247 Hood Street
02 Oct 2024, 12:04:20 PM



Attachment 3 - Assumptions and Limiting Conditions

1. Any legal description/ownership status provided to the consultant is assumed to be correct.
2. The visual observations by the consultant are the basis of the information provided in this report.
3. It is assumed that this property is not in violation of any codes, statutes, ordinances, or other governmental regulations.
4. Loss or alteration of any part of this delivered report invalidates the entire report.
5. The consultant's role is to provide professional guidance. Inaction on the part of those receiving the report is not the responsibility of the consultant.
6. The information provided in this inspection report includes information and recommendations for the benefit of our client's decision making. The ultimate decision of whether to retain, remove, prune, inspect, or otherwise apply treatment recommendations to a tree is the sole responsibility of the tree owner, and not the responsibility of the consulting arborist. If there are any questions or concerns with the information presented in this report, please contact our firm so that we can address any issues as soon as possible.
7. The purpose of this report is to summarize an evaluation of whether dead, standing trees located at 39247 Hood Street pose a risk of falling and provide documentation supporting a tree removal application.