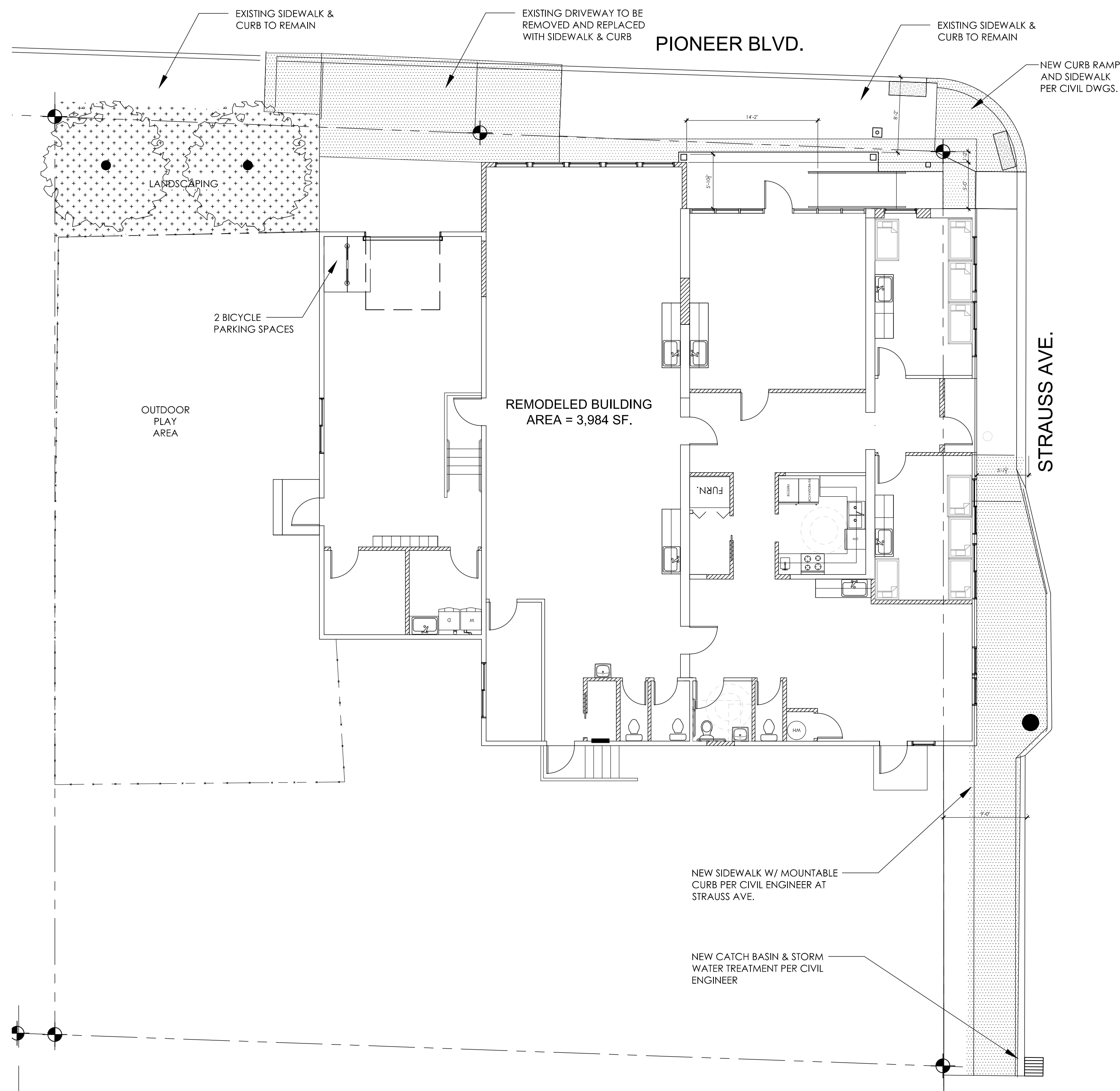
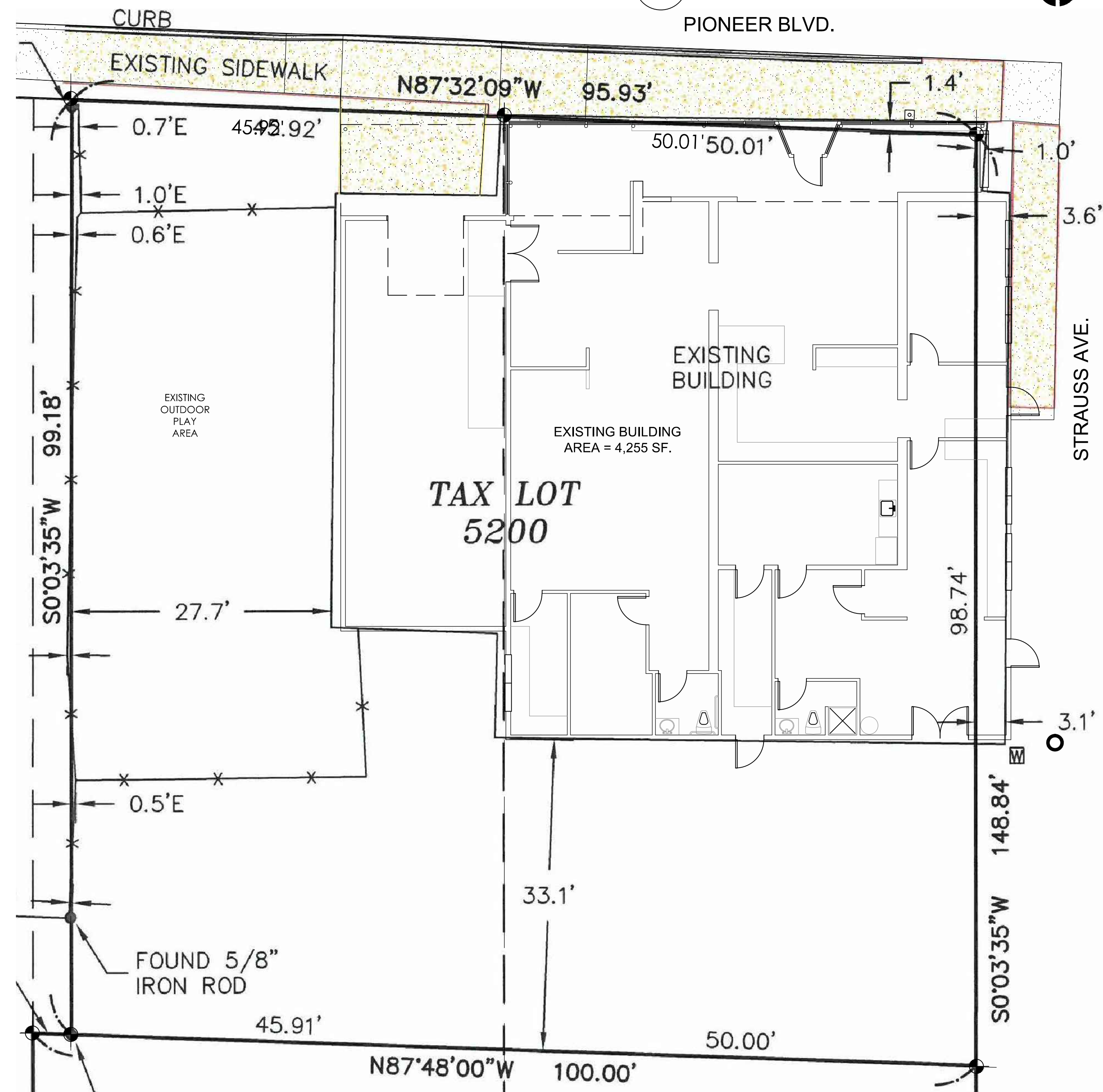


0 VICINITY MAP  
A1.1 SCALE: NTS



2 PROPOSED SITE PLAN  
A1.1 SCALE: 1/8"=1'-0"



1 EXISTING SITE PLAN  
A1.1 SCALE: 1/8"=1'-0"

Robert Mosier  
Architect

3018 SE 76th Ave.  
Portland, Oregon 97206

Cascade Properties - 3888 Building  
38888 PIONEER BLVD.  
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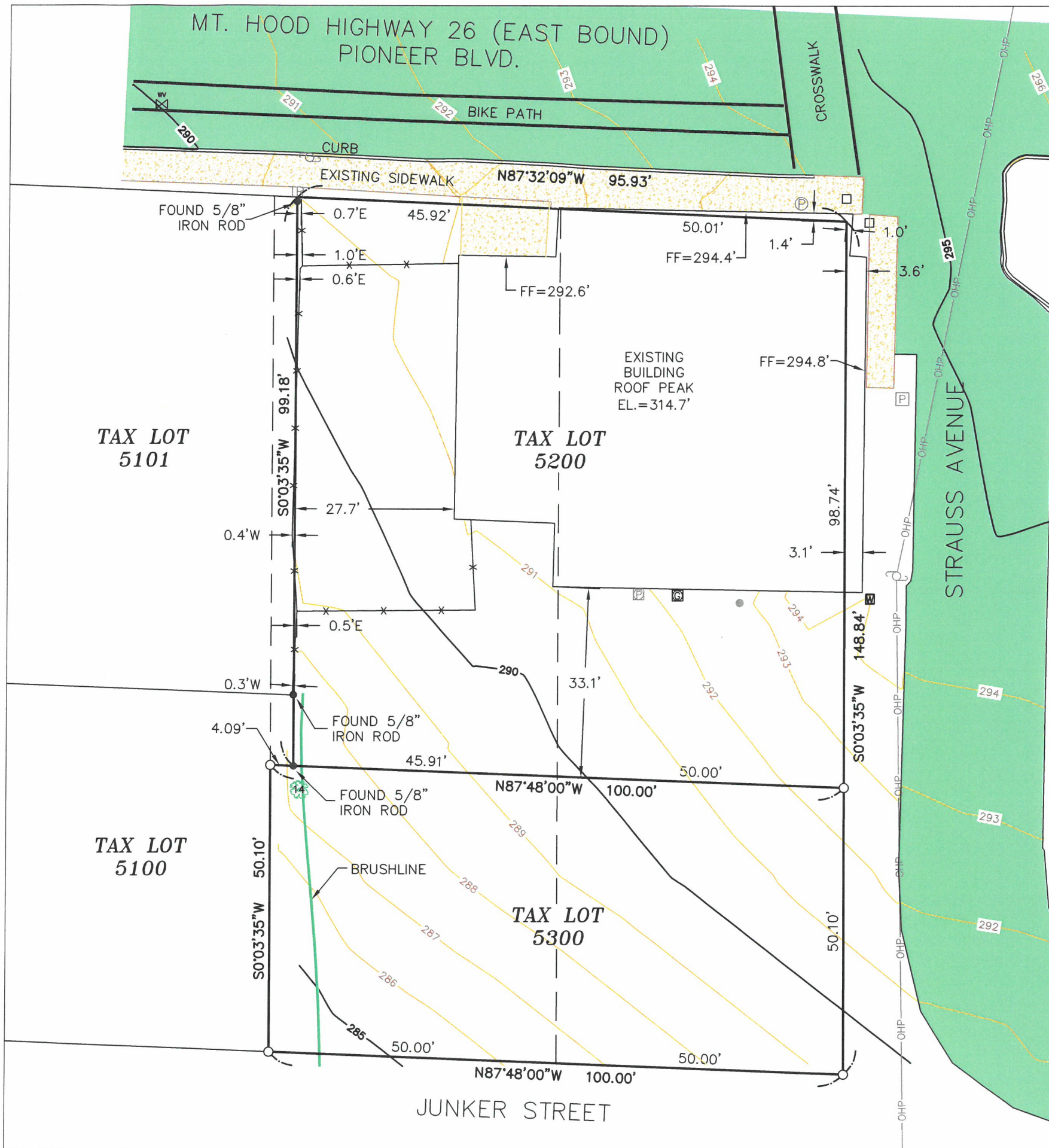
EXISTING & PROPOSED SITE PLANS

REVISIONS:	
△ Rev. 1	March 14, 2022
△ ..	
△ ..	

DATE: October 2, 2024  
SCALE: As Noted  
DRAWN: RMM  
JOB NO: 2023-7

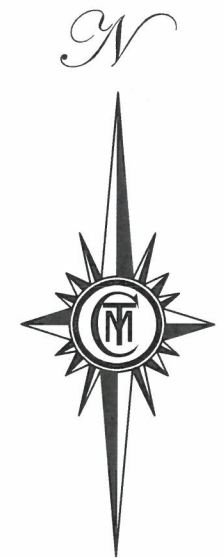
A1.1





**LEGEND**

- EXISTING DECIDUOUS TREE W/ TRUNK DIAMETER (INCHES)(CL=CLUSTER)
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING TELEPHONE RISER
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC VAULT
- EXISTING POWER POLE
- EXISTING OVERHEAD POWER LINES
- EXISTING GAS METER
- EXISTING CLEANOUT
- EXISTING PEDESTRIAN POLE
- EXISTING FENCE
- FOUND MONUMENTS
- SET WOOD STAKE AT APPROXIMATE PROPERTY CORNER
- SET PAINT DOT AT 4' OFFSET TO APPROXIMATE PROPERTY CORNER
- EXISTING CONCRETE
- EXISTING ASPHALT



SCALE 1" = 20'

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

*David Roeger*  
OREGON  
SEPTEMBER 11, 2018  
DAVID ROEGER  
86811

EXPIRES DECEMBER 31, 2024

**NOTES**

1. THE PURPOSE OF THIS MAP WAS TO SHOW THE EXISTING CONDITIONS FOR 38888 PIONEER BLVD. AND 17575 STRAUSS AVE.
2. THE BASIS OF BEARINGS WAS PER SURVEY NO. 22224, CLACKAMAS COUNTY RECORDS.
3. LOCAL DATUM WAS ESTABLISHED BY ASSUMING AN ELEVATION OF 300.00' ON LOCAL CONTROL.
4. THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF CASCADE INVESTMENT & DEVELOPMENT, LLC..
5. THIS MAP WAS PREPARED BY PLAT RECORDS, CALCULATED DATA, AND FIELD MEASUREMENTS, A RECORDED BOUNDARY SURVEY WILL NOT BE FILED.
6. ALL UTILITY LOCATIONS ARE SHOWN BY ABOVE GROUND FEATURES AND LOCATION OF PAINT MARKS SUPPLIED BY THE LOCAL UTILITY COMPANIES. CMT TAKES NO RESPONSIBILITY OF UNDERGROUND LOCATION. PLEASE NOTIFY THE UTILITY NOTIFICATION CENTER BEFORE ANY DIGGING 1-800-332-2344.

**EXISTING CONDITIONS**

SW 1/4 SEC 13, T2S, R4E, W.M.	
CITY OF SANDY	
CLACKAMAS COUNTY, OREGON	
DECEMBER 2, 2024	
DRAWN: JMR	CHECKED: DMR
SCALE 1"=20' ACCOUNT #500-1405	
Y:\500-1405\DWG\5001405BASE	

38888 PIONEER BLVD. &  
17575 STRAUSS AVE

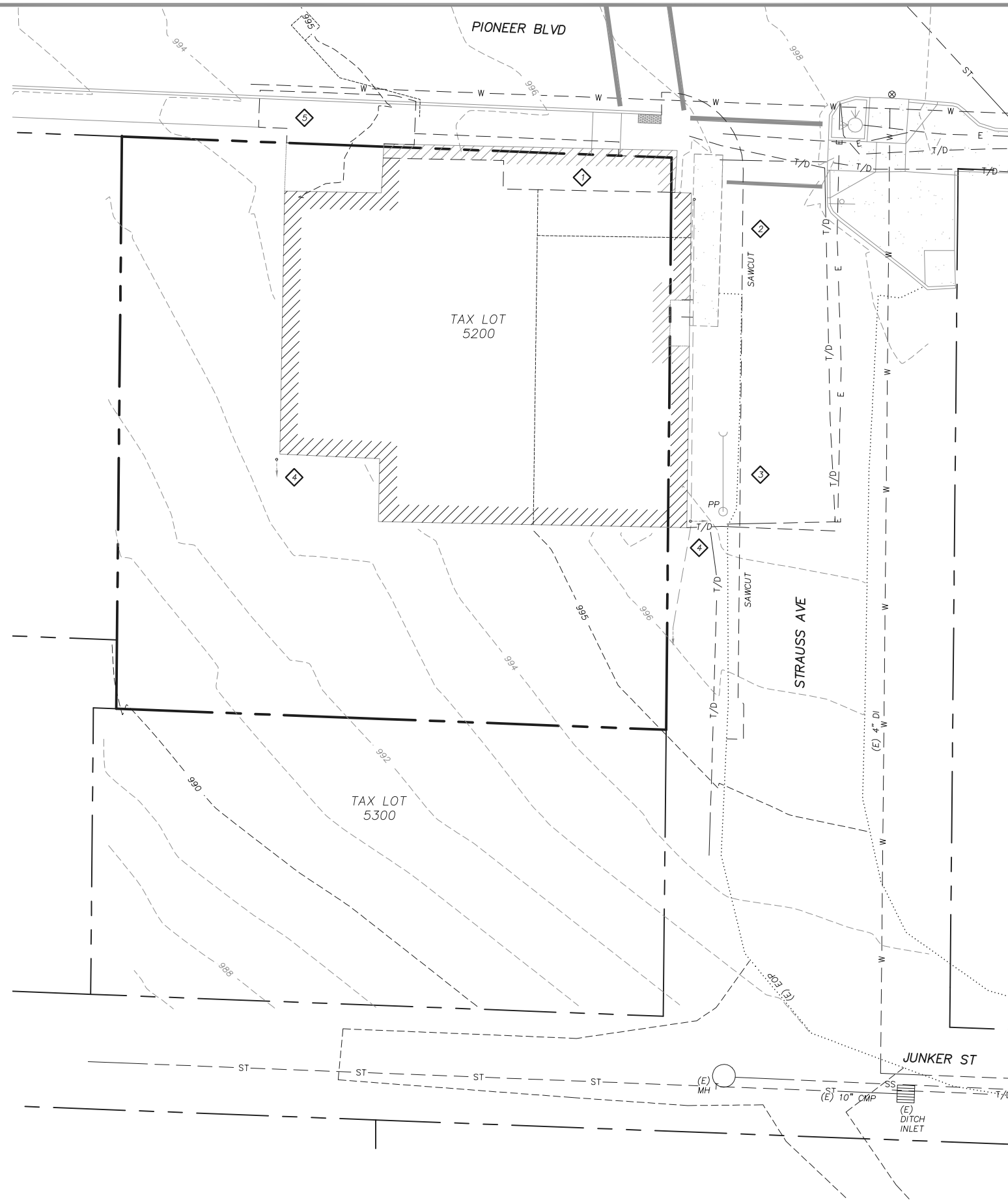


**CMT SURVEYING AND CONSULTING**

20330 SE HIGHWAY 212  
DAMASCUS, OR 97089  
PHONE (503) 850-4672 FAX (503) 850-4590

**DEMO KEYNOTES**

1. REMOVE PORTION OF (E) BUILDING; SEE ARCHITECTURAL.
2. SAWCUT & REMOVE PAVEMENT AS REQUIRED FOR NEW CONSTRUCTION.
3. (E) POWER POLE & GUY TO REMAIN.
4. (E) RAIN DRAINS TO GRADE.
5. REMOVE (E) DRIVEWAY.



**PRELIMINARY  
EXISTING CONDITIONS/DEMO PLAN**

SCALE: 1" = 10'  
0 2.5 5 10 20



NOT FOR CONSTRUCTION



**SYMONS ENGINEERING  
CONSULTANTS, INC.**

p.o. box 1692  
hood river, oregon 97031  
phone 971 219 9111  
www.symonsengineering.com

**CLIENT**

**MARLIN GOOD**  
2420 NW CAMPUS DRIVE SUITE C  
ESTACADA, OR 97023  
971-221-6791

**PROJECT**

**38888 BUILDING**

**SITE ADDRESS**

**38888 PIONEER BLVD  
SANDY, OR 97055**

**SHEET NAME  
PRELIMINARY  
EXISTING CONDITIONS/  
DEMO PLAN**

**REVISION**

- △ 9/20/24 ISSUED FOR COORDINATION
- △
- △
- △
- △
- △

**ISSUE DATE SEPTEMBER 20, 2024**

**DRAWING FILE 24-04c.DWG**

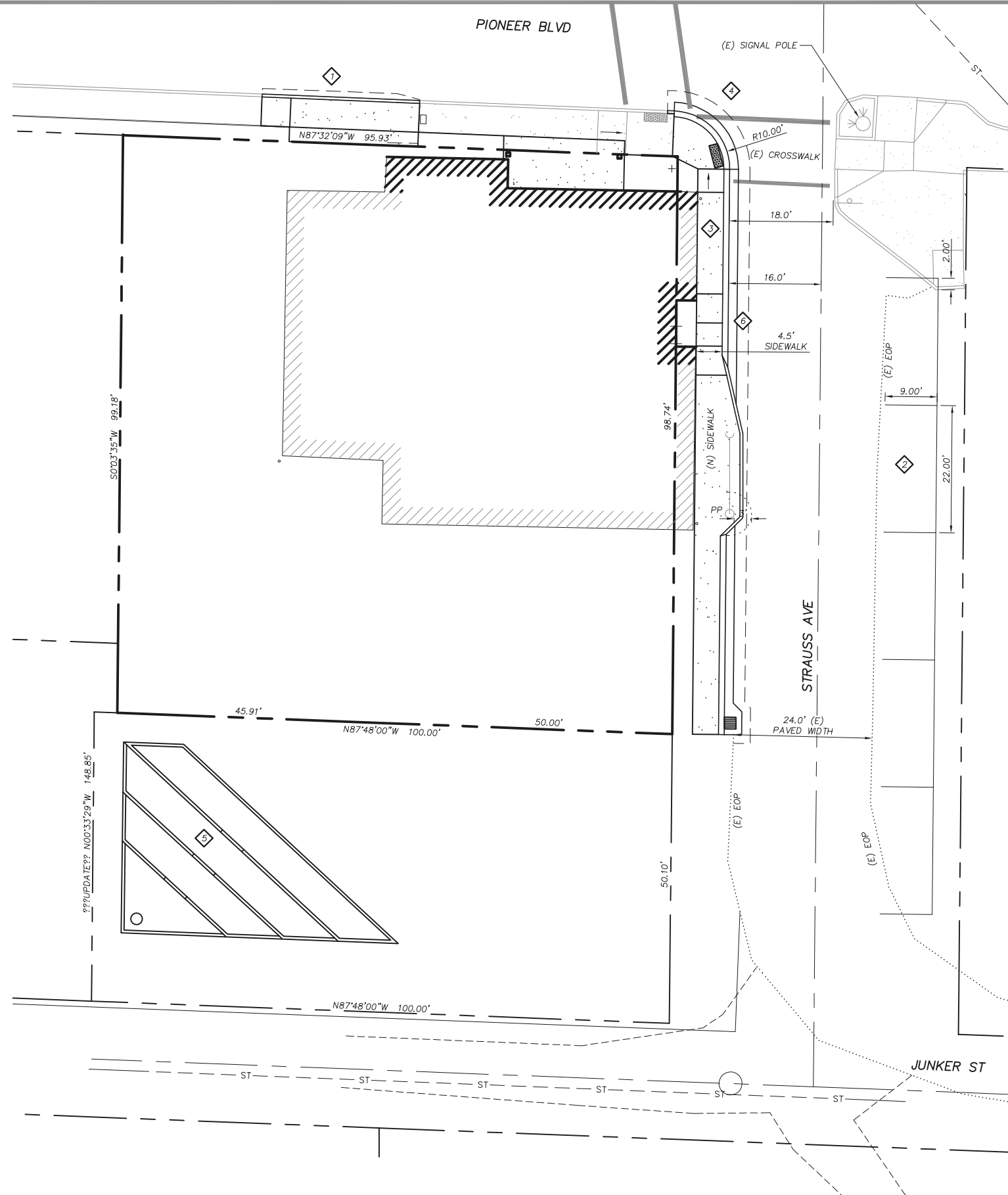
**PROJECT NUMBER 24-04**

**D1**

**SHEET NO.**

**SITE KEYNOTES**

1. CLOSE (E) DRIVEWAY & REPLACE WITH STANDARD CURB & SIDEWALK.
2. (5) POTENTIAL ON-STREET PARALLEL PARKING SPACES CURRENTLY AVAILABLE.
3. NEW MOUNTABLE CURB W/ CURB-TIGHT SIDEWALK.
4. NEW ADA RAMP & CURB RETURN BY ODOT.
5. MULTI-TIER STORMWATER INFILTRATION GARDEN.
6. INTERIM TRANSITION TO STANDARD CURB EXTENSION 18" CLEAR TO (E) PP & GUY UNTIL FUTURE DEVELOPMENT WARRANTS POLE RELOCATION.



**PRELIMINARY SITE PLAN**

SCALE: 1" = 10'  
0 2.5 5 10 20



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971-221-6791

**PROJECT**

**38888 BUILDING**

**SITE ADDRESS**

**38888 PIONEER BLVD  
SANDY, OR 97055**

**SHEET NAME  
PRELIMINARY  
SITE PLAN**

**REVISION**

- ▲ 9/20/24 ISSUED FOR COORDINATION
- ▲
- ▲
- ▲
- ▲
- ▲

**ISSUE DATE SEPTEMBER 20, 2024**

**DRAWING FILE 24-04c.DWG**

**PROJECT NUMBER 24-04**

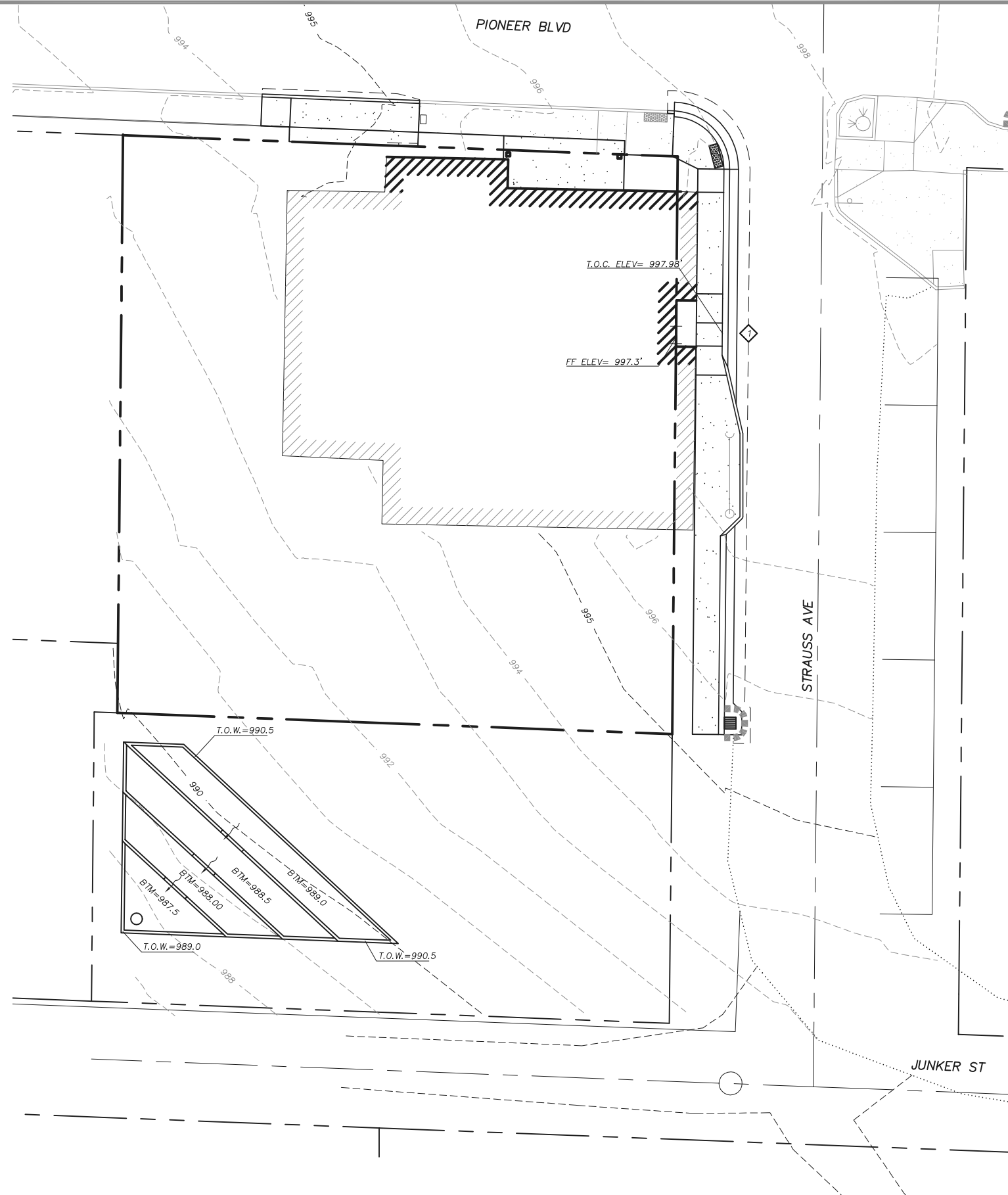
**C1**

**SHEET NO.**



**GRADING KEYNOTES**

1. SIDEWALK ELEVATION TO ADA COMPLIANT RAMP BELOW T.O.C. TO MEET (E) ENTRANCE.



**PRELIMINARY GRADING & EROSION CONTROL PLAN**

SCALE: 1" = 10'  
0 2.5 5 10 20



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971-221-6791

**PROJECT**

**38888 BUILDING**

**SITE ADDRESS**

**38888 PIONEER BLVD  
SANDY, OR 97055**

**SHEET NAME**

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

**REVISION**

- △ 9/20/24 ISSUED FOR COORDINATION
- △
- △
- △
- △
- △

ISSUE DATE **SEPTEMBER 20, 2024**

DRAWING FILE **24-04c.DWG**

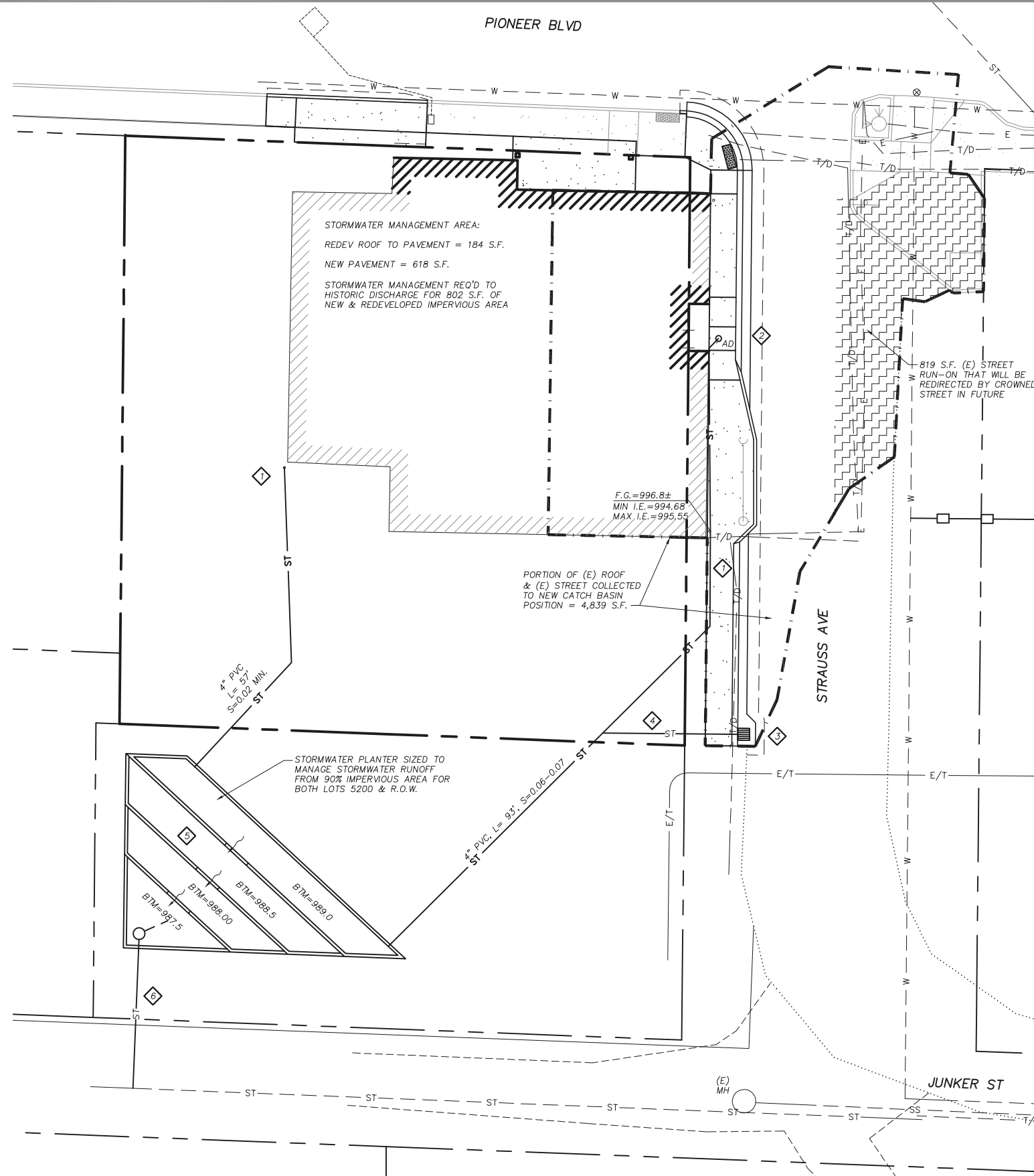
PROJECT NUMBER **24-04**

**C2**

SHEET NO.

**UTILITY KEYNOTES**

1. CONNECT (E) RAIN DRAINS TO NEW STORMWATER FACILITY.
2. NEW AREA DRAIN TO PROTECT (E) ENTRANCE
3. NEW INLET PER CITY OF SANDY DETAIL 305C.
4. INTERIM INLET LEAD UNTIL STRAUSS RECEIVES PUBLIC STORM SEWER, THEN DISCONNECTED FROM **5**
5. PRIVATE INFILTRATION GARDEN, 839 S.F.
6. BEEHIVE OVERFLOW TO NON-STANDARD STORM SEWER IN JUNKER.



**PRELIMINARY  
UTILITY & DRAINAGE PLAN**

SCALE: 1" = 10'  
0 2.5 5 10 20



NOT FOR CONSTRUCTION



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CONSULTANTS, INC.**

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**CLIENT**

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971-221-6791

**PROJECT**

**38888 BUILDING**

**SITE ADDRESS**

**38888 PIONEER BLVD  
SANDY, OR 97055**

**SHEET NAME  
PRELIMINARY  
UTILITY &  
DRAINAGE PLAN**

**REVISION**

- ▲ 9/20/24 ISSUED FOR COORDINATION
- ▲
- ▲
- ▲
- ▲
- ▲

**ISSUE DATE SEPTEMBER 20, 2024**

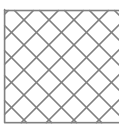
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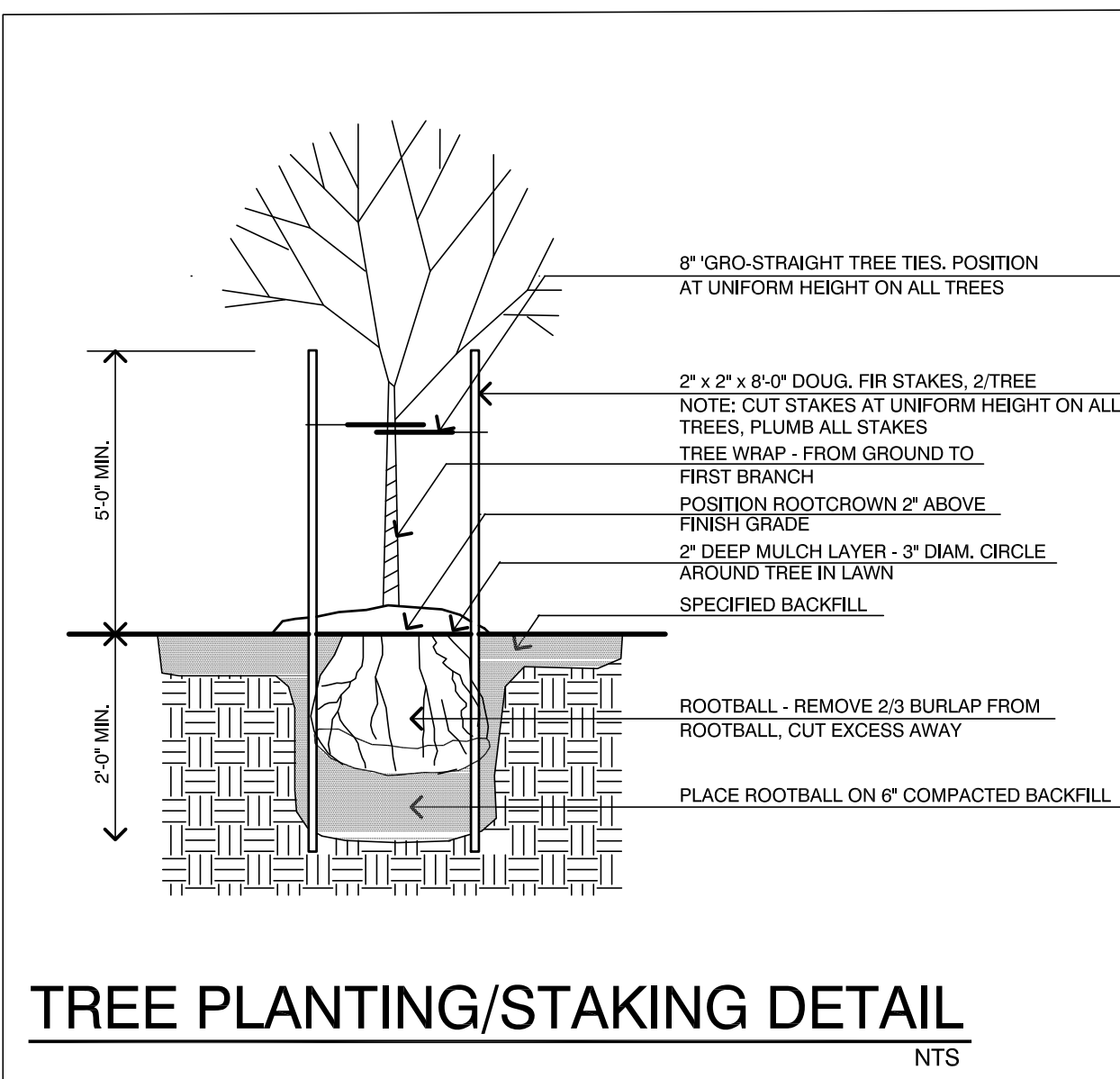
**PROJECT NUMBER 24-04**

**C3**

**SHEET NO.**

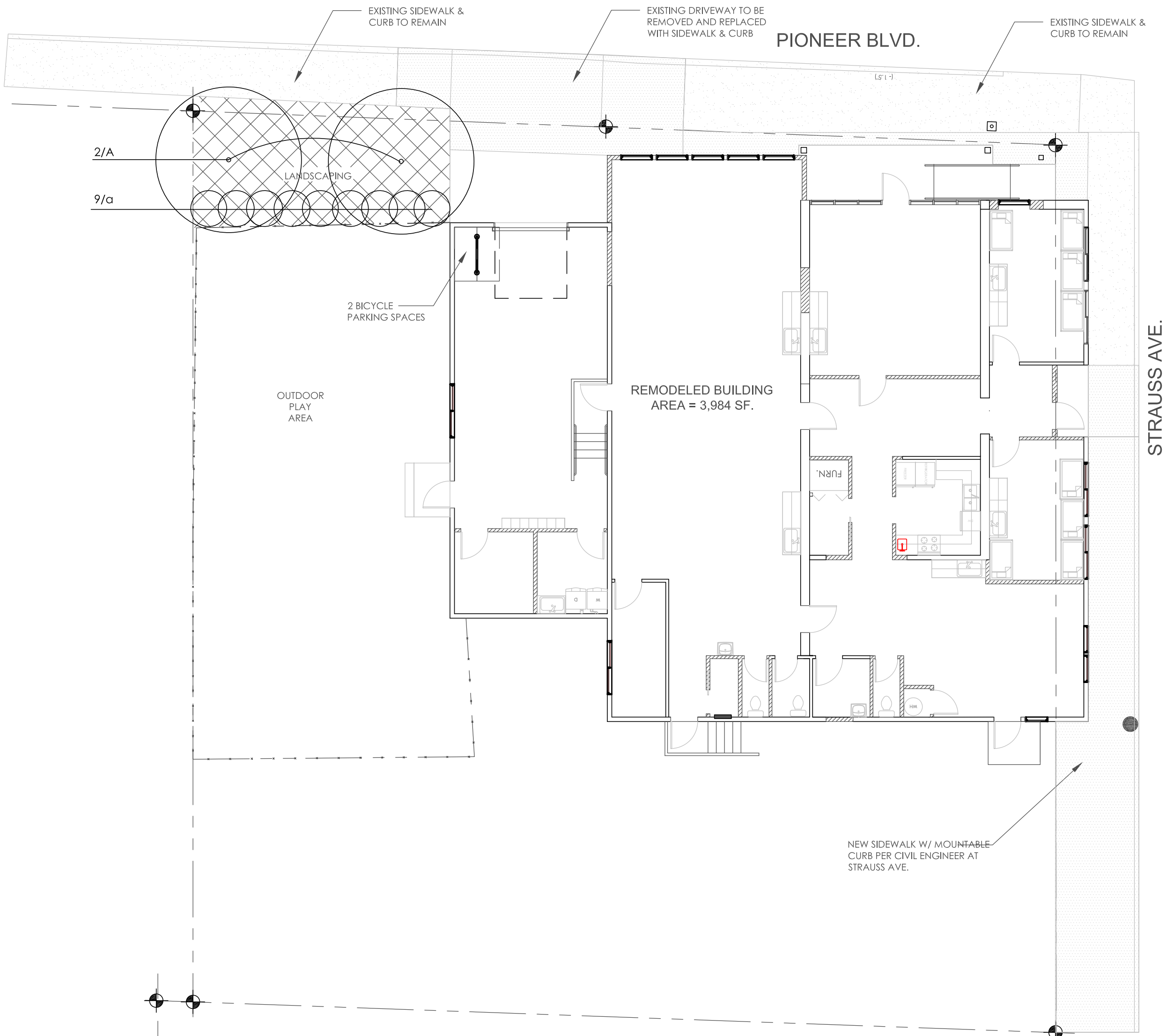
**PLANT LIST**

TREES			
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE at PLANTING
A	Redbud	Cercis canadensis	1.5" Caliper, B&B
SHRUBS			
a	Ed. Goucher Abelia	Abelia grandiflora 'Ed. Goucher	5 gal.
GROUNDCOVER			
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE & SPACING
	Kinnickinnick	Arctostaphylos uva ursi 'Mass.'	1 gal. 30" o.c.



**LANDSCAPE NOTES**

1. ALL PLANT MATERIAL TO MEET OR EXCEED CURRENT OREGON STATE STANDARDS.
2. ROTOTILL 3" OF ORGANIC SOIL AMENDMENT INTO ALL PLANTERS. ADD 5 LB/1000 S.F. OF 13-13-13 FERTILIZER PRIOR TO PLANTING.
3. ADD MINIMUM 5" LOAM TOPSOIL IN ALL LANDSCAPE AREAS. SCARIFY SUBGRADE TO 6" DEPTH PRIOR TO ADDING SOIL.
4. BERM ALL PLANTER ISLANDS TO AVOID PONDING OF WATER.
5. SHRUB BEDS - INSTALL A MINIMUM OF 3" DEEP MEDIUM GRIND FIR BARK.
6. CONTRACTOR TO VERIFY SITE CONDITIONS, PLANT MATERIAL QUANTITIES, AND MEASUREMENTS PRIOR TO BIDDING PROJECT.
7. PROPOSED PLANTINGS WILL BE MANUALLY IRRIGATED BY OWNER.



**ANDERSON ASSOCIATES**

LANDSCAPE ARCHITECTURE

1723 NW 23rd Street  
McMinnville, OR 97128  
Ph. 503-318-0549  
dave@andersonassoc-la.net

Cascade Properties - 3888 Building  
38888 PIONEER BLVD.  
Sandy, Oregon 97055

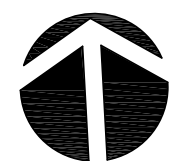
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Estacada, Oregon 97023

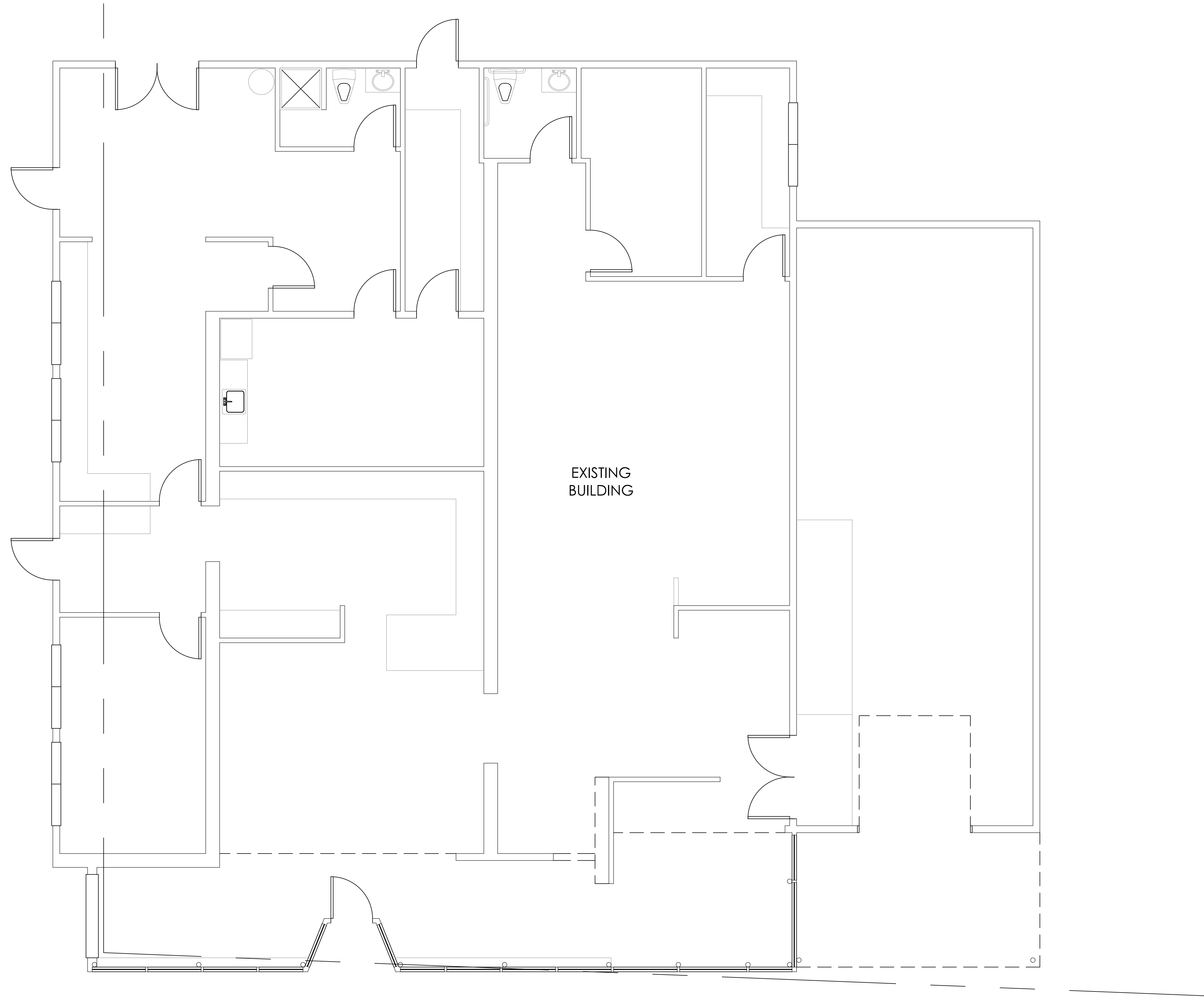
**LANDSCAPE PLAN**

REVISIONS:

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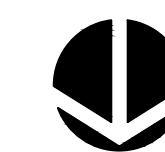
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SCALE: As Noted  
DRAWN: RMM  
JOB NO: 2023-7





1 EXISTING FLOOR PLAN  
A2.1

SCALE: 1/4"=1'-0"



DESIGN REVIEW SET 10/18/24

Robert Mosier  
Architect

3018 SE 76th Ave.  
Portland, Oregon 97206

Cascade Properties - 3888 Building  
3888 PIONEER BLVD.  
Sandy, Oregon 97055

Cascade Investment & Development L.L.C.  
2420 NW Campus Dr. Suite C  
Estacada, Oregon 97023

EXISTING FLOOR  
PLAN

REVISIONS:

△	..
△	..
△	..

DATE: October 2, 2024

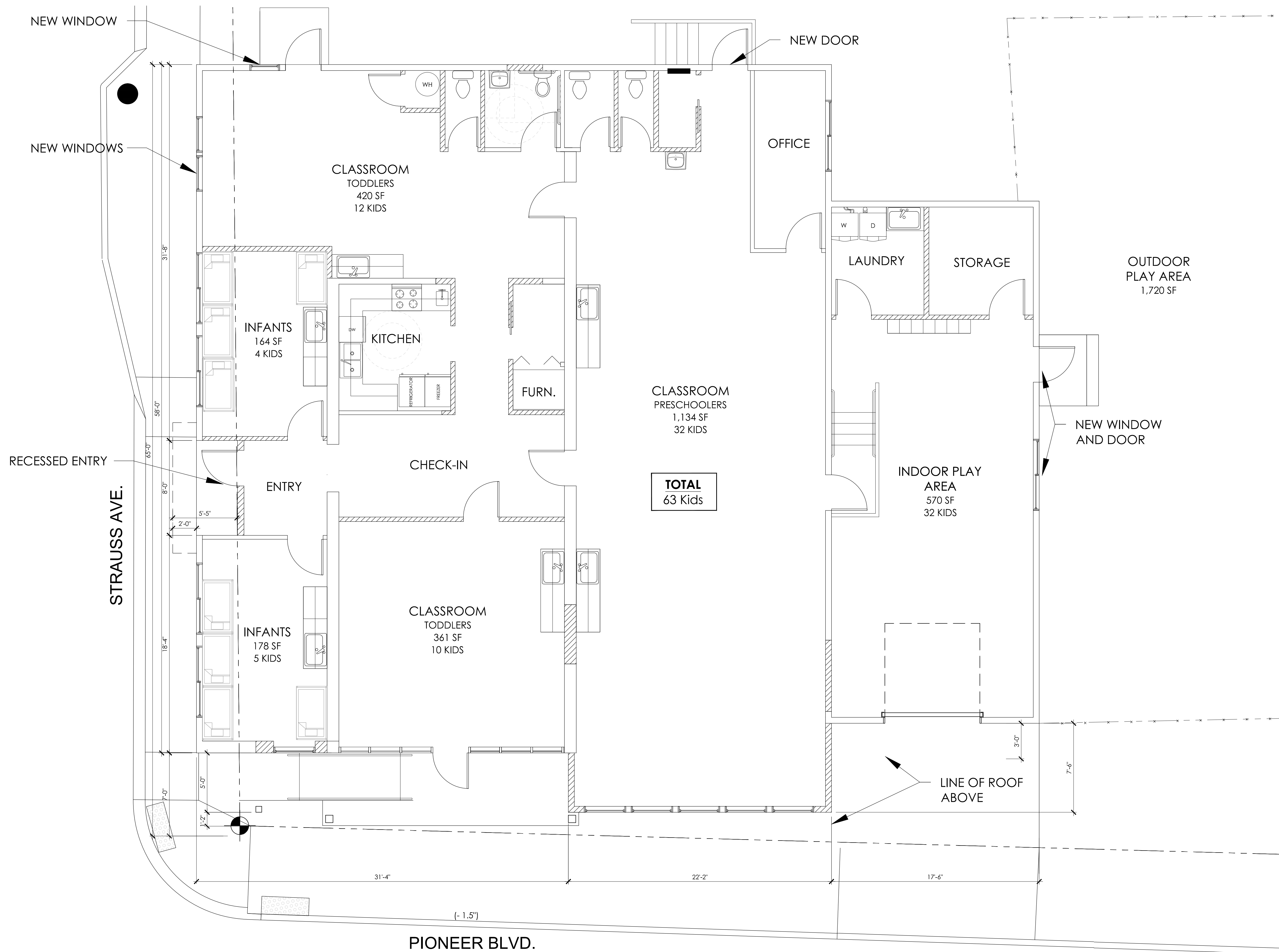
SCALE: As Noted

DRAWN: RMM

JOB NO: 2023-7

A2.1





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Architect  
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PROPOSED  
FLOOR PLAN

REVISIONS:

△	..
△	..
△	..

DATE: October 2, 2024  
SCALE: As Noted  
DRAWN: RMM  
JOB NO: 2023-7

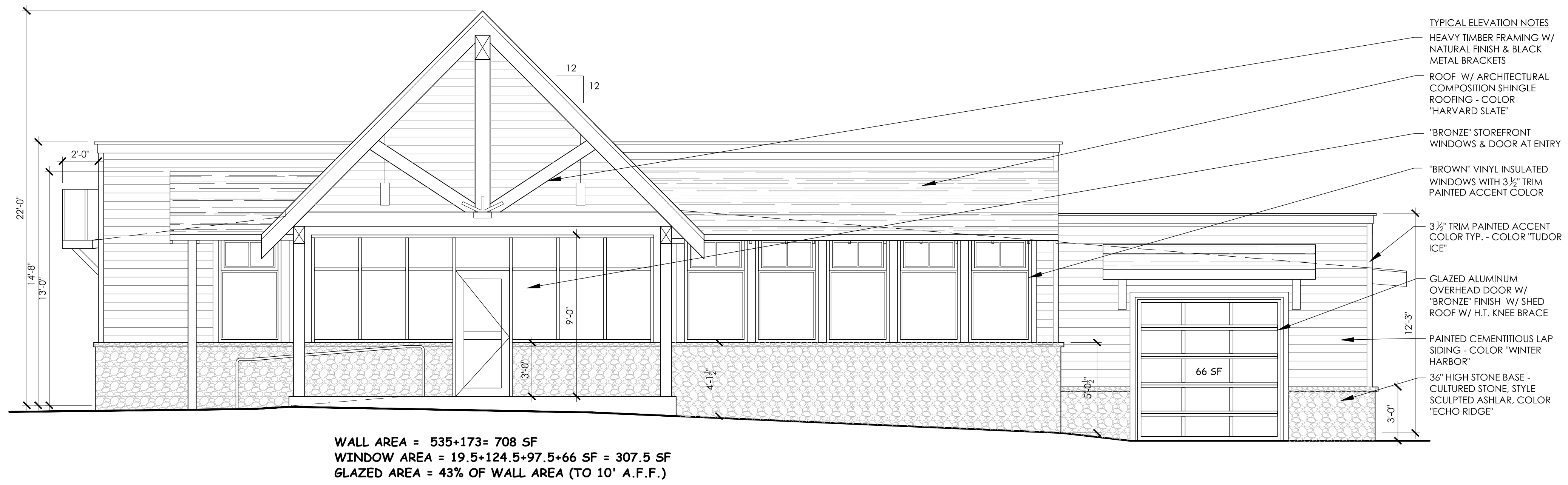
A2.2





1 EXISTING NORTH ELEVATION  
A4.1

SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION  
A4.1

SCALE: 1/4"=1'-0"

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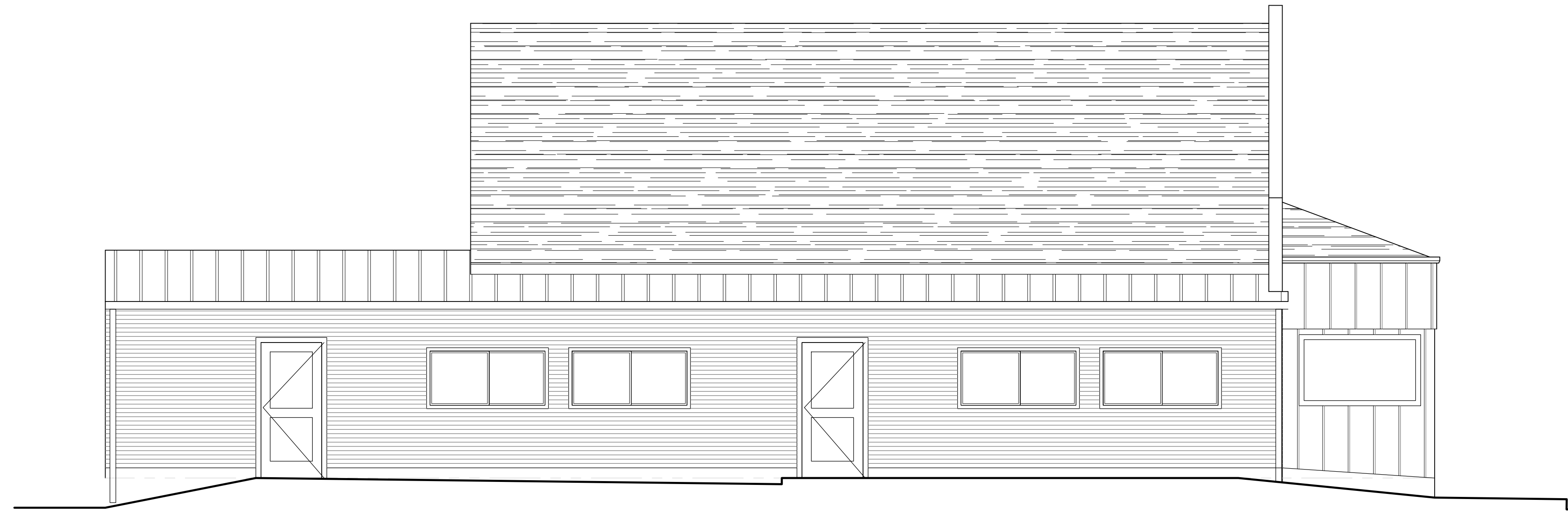
ELEVATIONS

REVISIONS:

△	..
△	..
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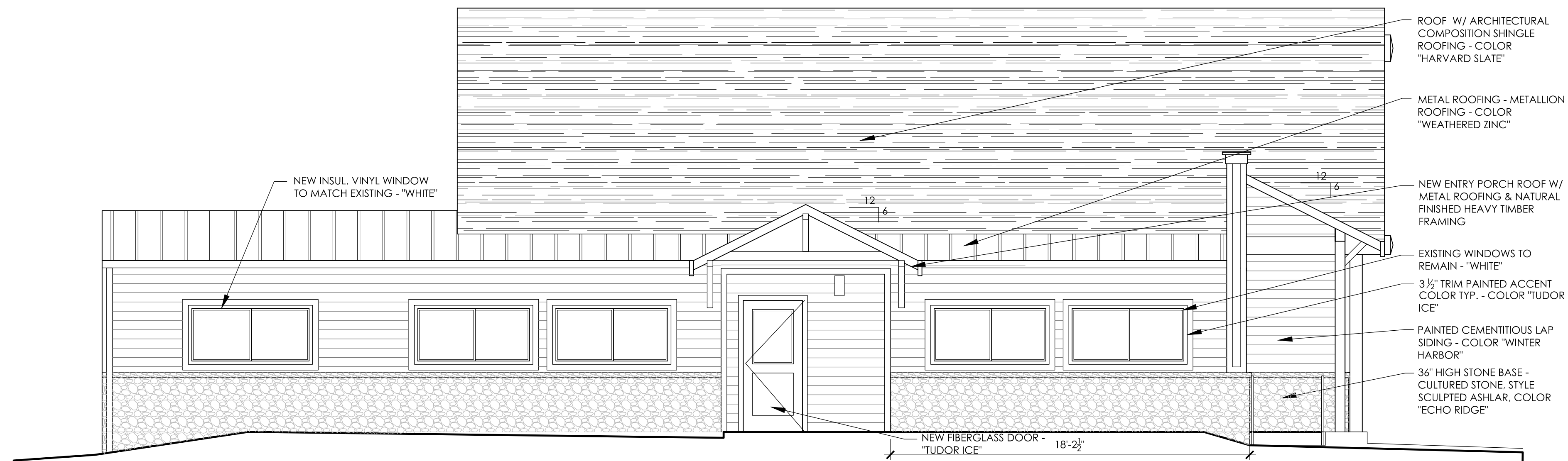
DATE: October 2, 2024  
SCALE: As Noted  
DRAWN: RMM  
JOB NO: 2023-7

A4.1



1  
A4.2 EXISTING EAST ELEVATION

SCALE: 1/4"=1'-0"



2  
A4.2 PROPOSED EAST ELEVATION

SCALE: 1/4"=1'-0"

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ELEVATIONS

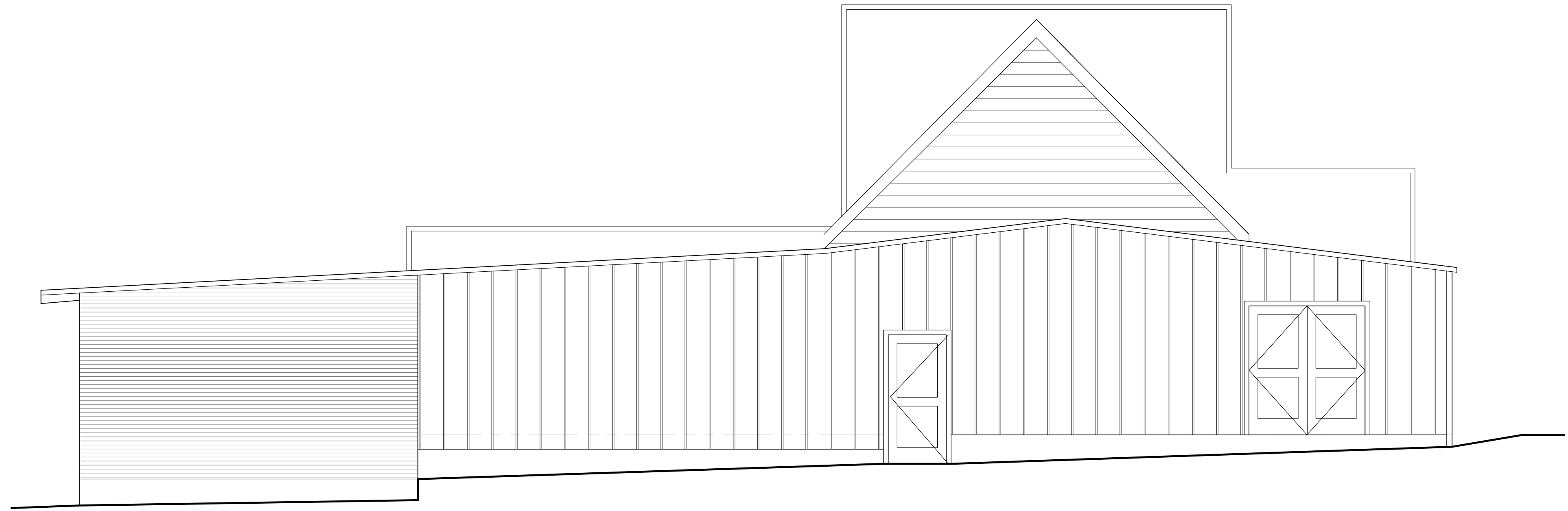
REVISIONS:

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DATE:	October 2, 2024
SCALE:	As Noted
DRAWN:	RMM
JOB NO:	2023-7

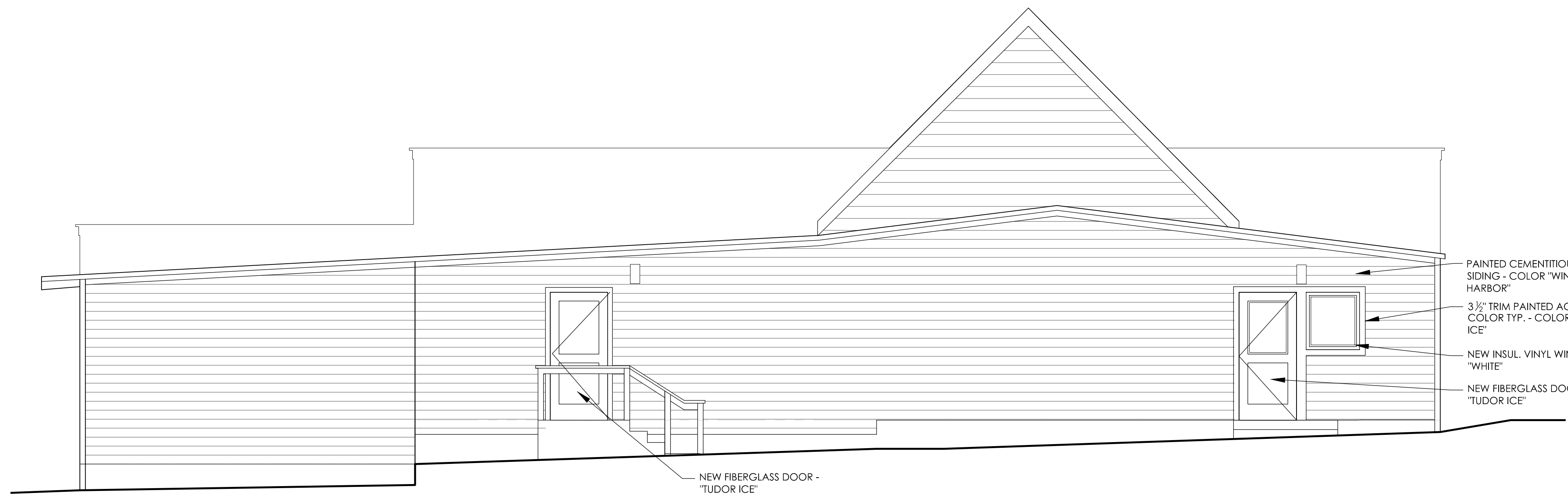
A4.2





1  
A4.3 EXISTING SOUTH ELEVATION

SCALE: 1/4"=1'-0"



2  
A4.3 PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"

- PAINTED CEMENTITIOUS LAP SIDING - COLOR "WINTER HARBOR"
- 3 1/2" TRIM PAINTED ACCENT COLOR TYP. - COLOR "TUDOR ICE"
- NEW INSUL. VINYL WINDOW - "WHITE"
- NEW FIBERGLASS DOOR - "TUDOR ICE"

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Architect

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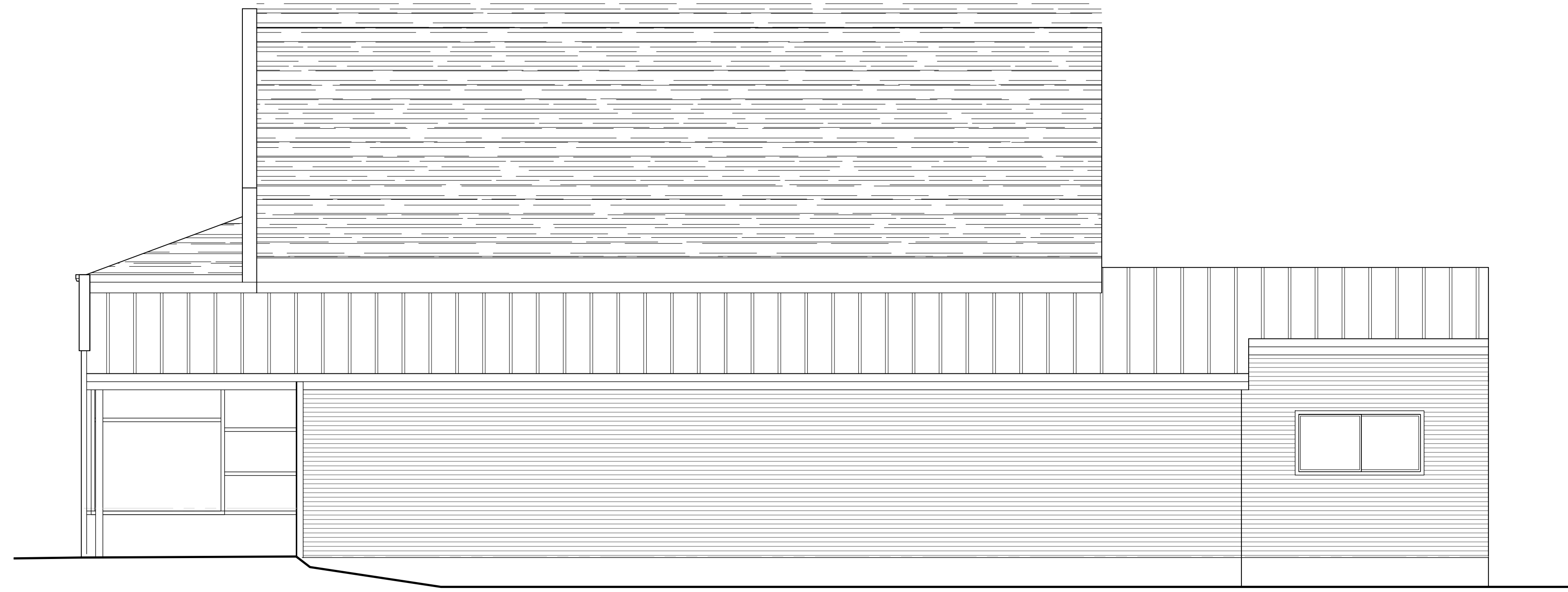
ELEVATIONS

REVISIONS:

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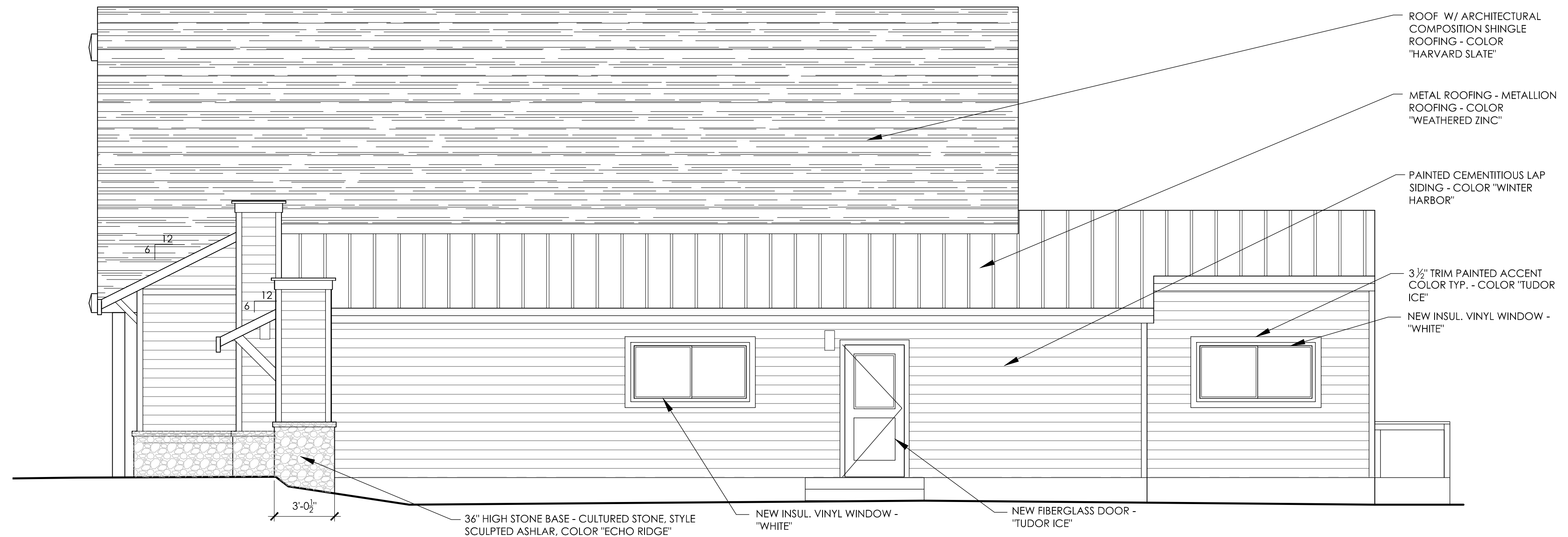
DATE:	October 2, 2024
SCALE:	As Noted
DRAWN:	RMM
JOB NO:	2023-7

A4.2



1  
A4.4 EXISTING WEST ELEVATION

SCALE: 1/4"=1'-0"



2  
A4.4 PROPOSED WEST ELEVATION

SCALE: 1/4"=1'-0"

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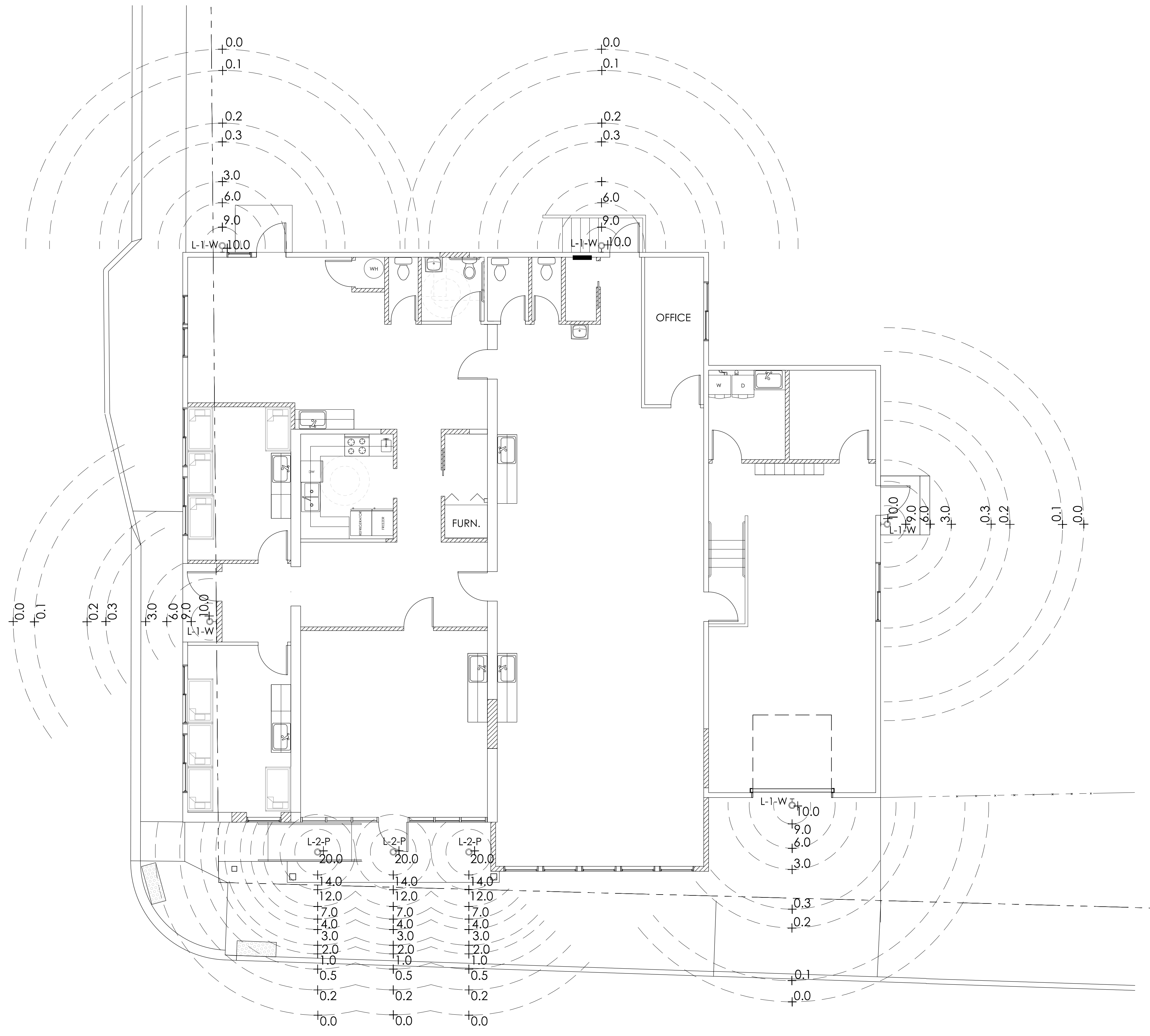
ELEVATIONS

REVISIONS:

△	..
△	..
△	..

DATE:	October 2, 2024
SCALE:	As Noted
DRAWN:	RMM
JOB NO:	2023-7

A4.4



**LEGEND**

- L-1-W LIGHT L-1-W TMS LIGHTING WALL MOUNT DOWNLIGHT CYLINDER
- L-2-P LIGHT L-2-P TMS LIGHTING PENDANT CYLINDER
- INDICATION OF LUMENS FROM PROPOSED LIGHT SOURCE

1  
E1.1 PROPOSED EXTERIOR LIGHTING PLAN

SCALE: NTS

DESIGN REVIEW SET 10/18/24

**Robert Mosier**  
Architect  
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Portland, Oregon 97206

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PROPOSED EXTERIOR LIGHTING PLAN

REVISIONS:

△	..
△	..
△	..

DATE: October 2, 2024  
SCALE: As Noted  
DRAWN: RMM  
JOB NO: 2023-7

**E1.1**