



## Todd Prager & Associates LLC

### MEMORANDUM

**DATE:** October 3, 2024  
**TO:** Sam Nisley (Vaughn Bay Construction)  
**FROM:** Todd Prager, RCA #597, ISA Board Certified Master Arborist  
**RE:** Tree Removal and Protection at Cascade Creek Apartments

Vaughn Bay Construction is requesting the removal of two trees and clarification of the status of two property line trees at the Cascade Creek Apartments site. The March 7, 2024 civil plan sheet with the subject trees is in Attachment 1. The summary of issues for the subject trees are in Table 1.

**Table 1: Trees Requested for Removal and Clarification<sup>1</sup>**

Tree #	Common Name	Scientific Name	DBH	Condition	Retention Tree?	Issues
56	deodar cedar	<i>Cedrus deodara</i>	12	fair	no	tree location error, wall is within two feet of the face of trunk, tree requested for removal
57	Douglas-fir	<i>Pseudotsuga menziesii</i>	12	good	yes	tree location error, wall is within two feet of the face of trunk, tree requested for removal
C	flowering plum	<i>Prunus cerasifera</i>	12,10, 8,4	fair	no	offsite tree, curblin adjusted in January 9, 2023 site plan to retain tree but not adjusted in March 7, 2024 plan resulting in tree removal, need clarification from City on approved curblin
D	flowering cherry	<i>Prunus serrulata</i>	6,8,8, 6,6	poor	no	offsite tree, curblin adjusted in January 9, 2023 site plan to retain tree but not adjusted in March 7, 2024 plan resulting in tree removal, need clarification from City on approved curblin

Note that trees 56, C, and D were not considered retention trees in the Final Order by the City of Sandy because they were either not in good condition, offsite, and/or not over 11-inch trunk diameter (DBH).

Tree 57 was considered a retention tree in the Final Order. Final Order item 165 required a final arborist report to determine whether tree 57 could be retained. If tree 57 could not be retained, Final Order item 165 allowed the replacement of tree 57 with two additional native mitigation trees.

<sup>1</sup> All tree information tree information in Table 1 except for “Issues” are from the Tree Protection Plan by Washington Forestry Consultants dated December 22, 2022 and the Final Order for File Number 22-039 DR/VAR/MP/TREE dated July 11, 2023 by the City of Sandy. Note that the Final Order was partially based on a 3<sup>rd</sup> Party Review by Todd Prager & Associates dated May 11, 2023. The “Issues” were provided to Todd Prager & Associates on October 2, 2024 by Vaughn Bay Construction. This memorandum summarizes the reasons Vaughn Bay Construction is requesting the removal and clarification of four additional trees for consideration by the City of Sandy.

Note that Civil Sheet C-102 from the permit set dated March 7, 2024 included the following note:

**GENERAL NOTES:**

1. TREE LOCATIONS ON PLAN HAVE NOT BEEN SURVEYED. LOCATIONS REFLECT TREE PROTECTION PLAN REPORT PREPARED BY WASHINGTON FORESTRY CONSULTANTS, INC., DATED 09/19/2023.

This lack of survey for tree locations may explain the discrepancies and conflicts associated with trees 56 and 57 on the civil plans when compared with their locations at the site.

Regarding trees C and D, these two trees were identified for retention in the January 9, 2023 site plan with a curblin bumpout adjacent to both trees as shown in Attachment 2. However, the March 7, 2024 plan in Attachment 1 shows the curblin directly adjacent to the trunks of both trees which would require their removal. Vaughn Bay Construction needs clarification from the City of Sandy whether the curblin can bumpout adjacent to the trees or if the trees require removal. If removal is required, permission from the tree owner will be required.

In summary, trees 56 and 57 conflict with the proposed retaining wall location, likely due to survey error. Since tree 57 is a retention tree, it would be required to be replaced with two native replacement trees. Clarification is needed regarding the curblin adjacent to trees C and D. If the curblin can bumpout, the trees can likely be retained. If the curblin cannot bumpout, the trees will likely need to be removed subject to the approval of tree owner.

Please contact me if you have questions, concerns, or need any additional information.

Sincerely,



Todd Prager

*ASCA Registered Consulting Arborist #597  
ISA Board Certified Master Arborist, WE-6723B  
ISA Qualified Tree Risk Assessor  
ASCA Tree & Plant Appraisal Qualified  
AICP, American Planning Association*

Attachment 1: March 7, 2024 Civil Plan Sheet  
Attachment 2: January 9, 2023 Tree Protection Plan Sheet



PROJECT:  
**CASCADE CREEK APARTMENTS**  
38272 OR-211  
SANDY, OR 97055

REVISIONS

NO.	DATE	DESCRIPTION
1	03.07.2024	

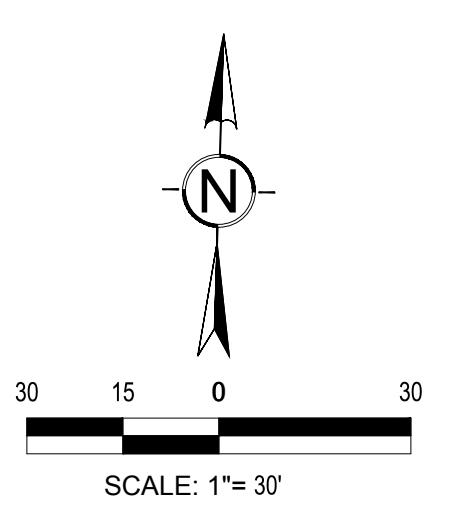
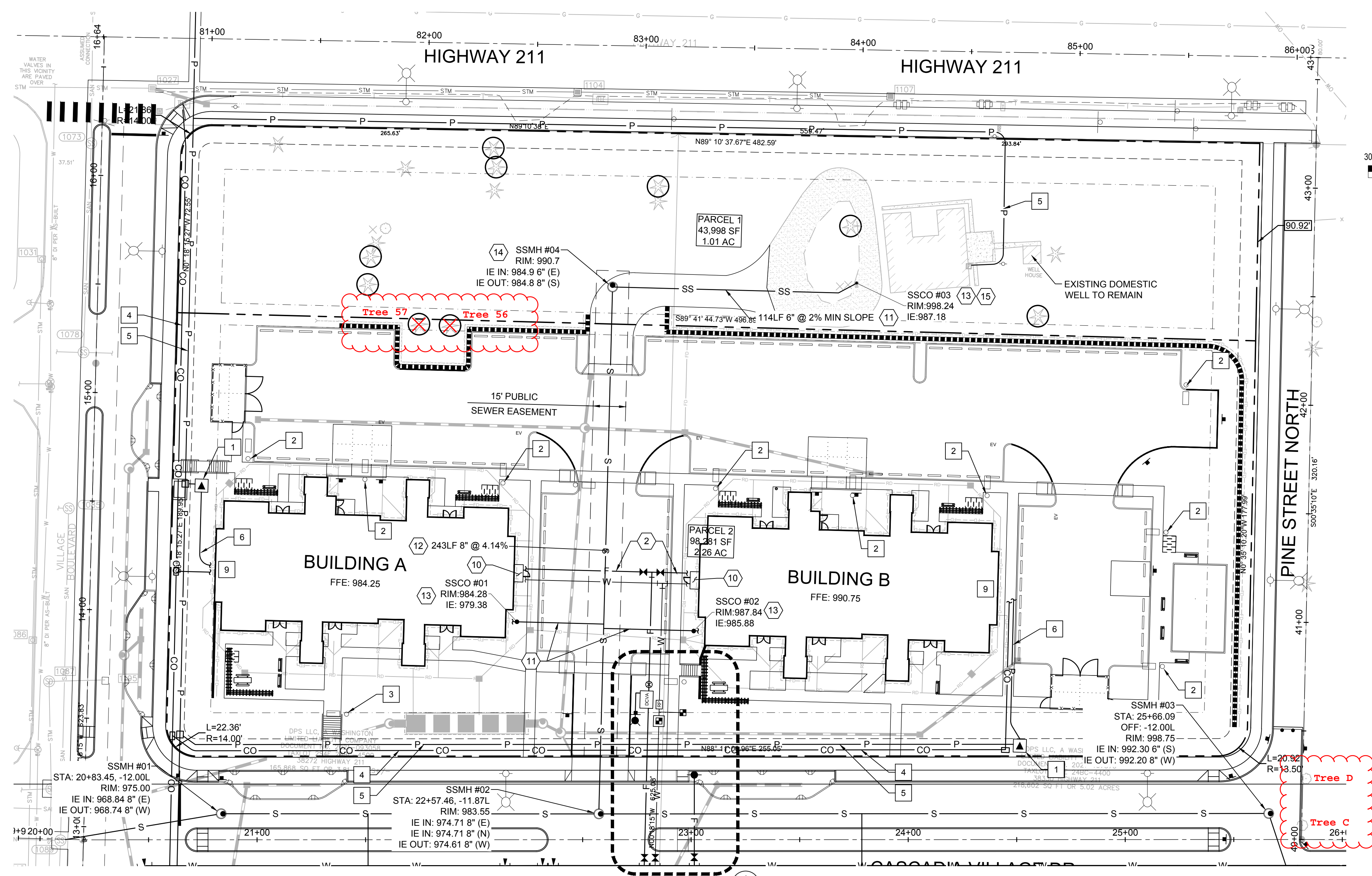
DATE: 03.07.2024  
BCRA NO: 21129  
DRAWN BY: RJB DESIGNED BY: MB  
REVIEWED BY: SMP  
SHEET TITLE: UTILITY PLAN NORTH



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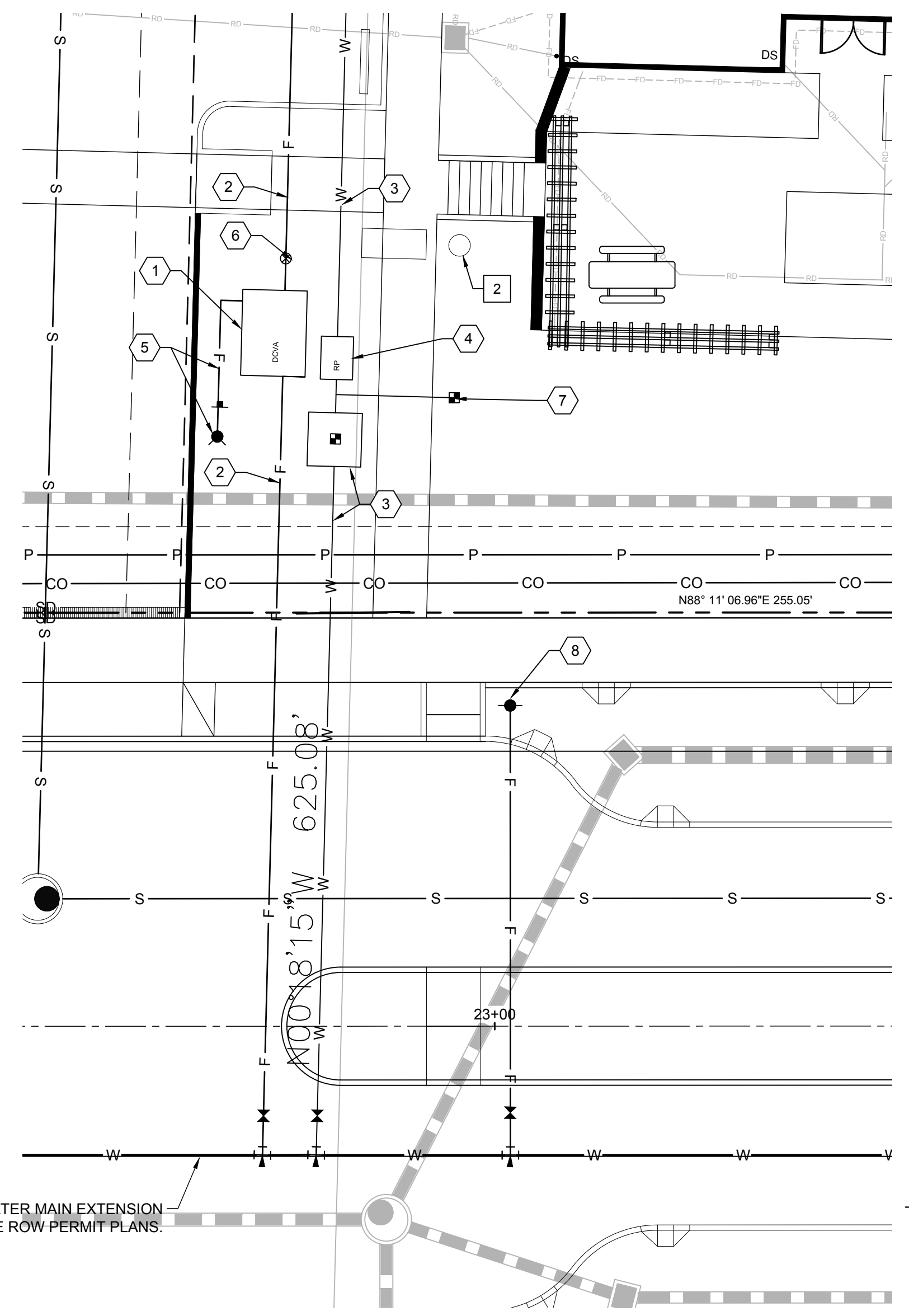
**C-401**

PERMIT SET



**UTILITY LEGEND**

W	WATER MAIN LINE
W	WATER SERVICE LINE
F	FIRE WATER LINE
■	FIRE WATER METER
●	FIRE DEPARTMENT CONNECTION
●	FIRE HYDRANT
S	SANITARY SEWER LINE
SS	SANITARY SEWER SERVICE LINE
●	SANITARY SEWER CLEAN OUT
○	SANITARY SEWER MANHOLE
P	POWER LINE
CO	COMMUNICATION LINE
□	POWER VAULT
▲	ELECTRICAL TRANSFORMER



**FIRE AND DOMESTIC SERVICES DETAIL NORTH**  
SCALE: NTS 1

**GENERAL NOTES:**

- REFER TO OFF-SITE PLANS UNDER SEPARATE ROW PERMIT FOR WATER, SEWER, AND OTHER UTILITY EXTENSIONS NOT SHOWN ON PLANS.
- REFER TO ELECTRICAL PLANS FOR POWER AND COMMUNICATION DISTRIBUTION AND SERVICES.

**WATER & SEWER NOTES**

- 6" DOUBLE CHECK VALVE IN VAULT WITH REMOTE FDC PER DETAIL. (3) C-507
- 6" DI CL52 FIRE SPRINKLER SERVICE LINE WITH FULL RESTRAINT AT EACH JOINT.
- 4" DI CL52 DOMESTIC WATER SERVICE CONNECTION AND METER PER DETAIL. (1) C-507
- REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY IN HOTBOX ON 4" CONCRETE PAD PER DETAIL.
- FDC STANDPIPE PER DETAIL. (5) C-507
- POST INDICATOR VALVE PER DETAIL. (6) C-507
- 2" PE IRRIGATION LINE WITH SEPARATE PRIVATE DEDUCT METER AND AMI READER. REFER TO LANDSCAPE PLANS FOR BACKFLOW ASSEMBLY.
- NEW MUELLER SUPER CENTURION HYDRANT WITH RED FACTORY COATING. UNDER SEPARATE PERMIT. REFER TO OFF-SITE PERMIT SET.
- 4" RESILIENT WEDGE GATE VALVE IN VALVE BOX PER DETAIL. (4) C-507
- FIRE SPRINKLER RISER ROOM SEE MECHANICAL PLANS FOR CONTINUATION.
- 6" PVC SDR-35 SANITARY SEWER SERVICE AT MIN. 2.0 % SLOPE. (8) C-507
- 8" PVC SDR-35 PUBLIC SANITARY SEWER MAIN AT MIN. 1.0% SLOPE.
- SANITARY SEWER CLEANOUT PER DETAIL. (7) C-507
- PUBLIC SANITARY SEWER MANHOLE PER DETAIL. (5) C-507
- CONNECT TO EXISTING SEWER CLEANOUT. CONTRACTOR SHALL FIELD VERIFY SIZE LOCATION AND DEPTH PRIOR TO CONSTRUCTION.

**POWER & TELECOMMUNICATION NOTES**

- PAD MOUNTED TRANSFORMER. REFER TO ELECTRICAL PLANS FOR DETAILS.
- PARKING LOT LIGHT POLE WITH 24-INCH CONCRETE BASE. REFER TO ELECTRICAL PLANS FOR DETAILS.
- PEDESTRIAN LIGHT POLE WITH 18-INCH CONCRETE BASE. REFER TO ELECTRICAL PLANS FOR DETAILS.
- (2) 4" PVC SCH 40 COMMUNICATION SERVICE CONDUITS. REFER TO ELECTRICAL PLANS. CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY FOR SERVICE AGREEMENT
- (2) 4" PVC SCH 40 PRIMARY POWER SERVICE CONDUITS
- 4" PVC SCH 40 SECONDARY POWER SERVICE CONDUITS. REFER TO ELECTRICAL PLANS FOR DETAILS.
- PRECAST CONCRETE HANDHOLE PER ELECTRICAL PLANS.
- ELECTRIC VEHICLE CHARGING STATION. REFER TO ELECTRICAL PLANS.
- ELECTRIC METER BANK. SEE ELECTRICAL PLANS FOR DETAILS.

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**Attachment 1**



IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY

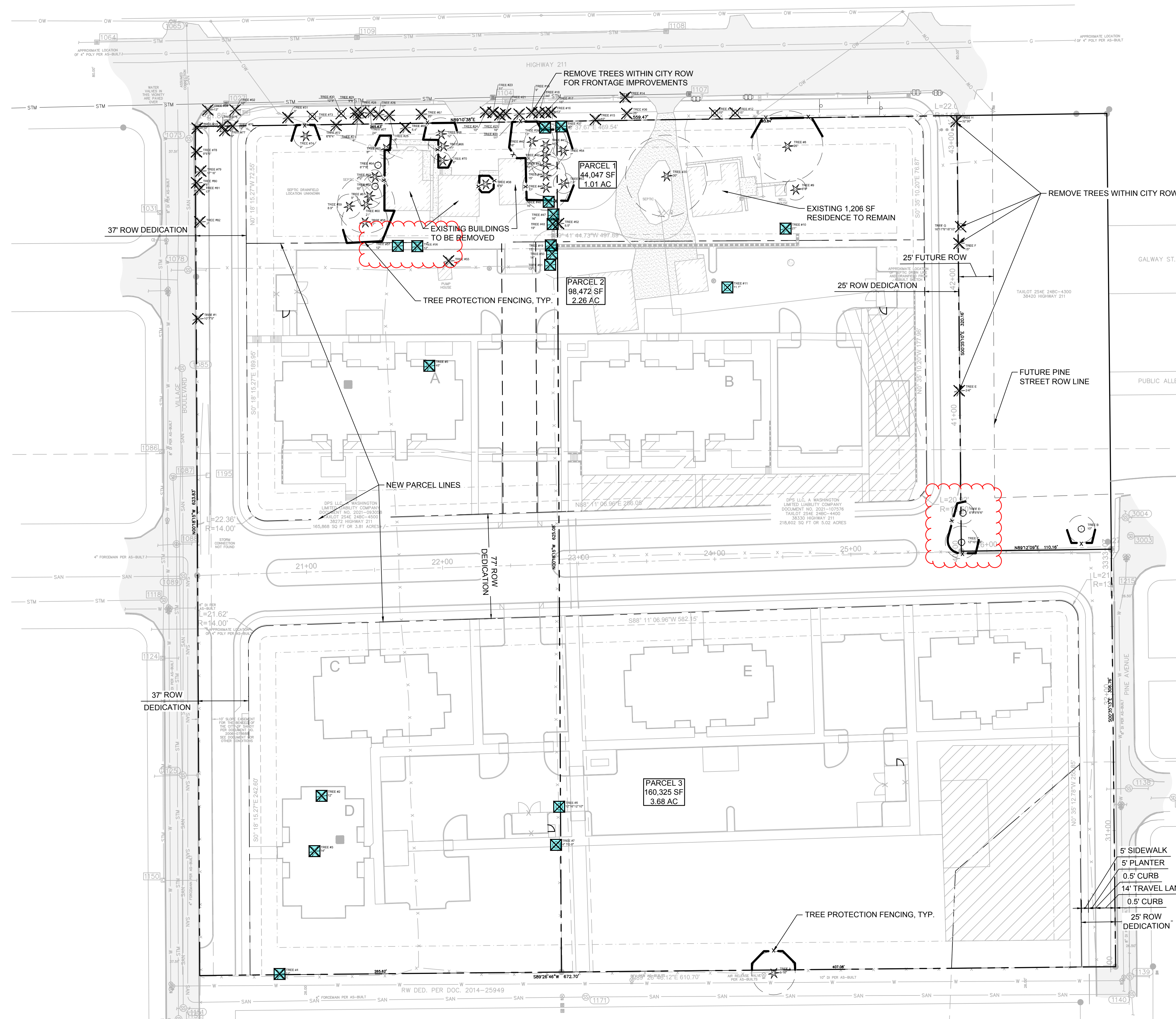


PROJECT:  
SHEET SET CREATED BY RB 09.16.2022  
**CASCADE CREEK MULTI FAMILY**  
38330 HWY 211  
SANDY, OR 97055

REVISIONS	DATE	DESCRIPTION
01	01.09.2023	ISSUED FOR PERMIT



**C-102**  
LAND-USE



**LEGEND**

- REMOVE EXISTING TREE
- TREE PROTECTION FENCE
- RETAINED TREE CRITICAL ROOT ZONE
- PROPERTY LINE
- TREE REMOVAL REQUIRING MITIGATION
- EXISTING TREE WITH CALCULATED DBH. SEE GENERAL NOTE 1

**GENERAL NOTE:**  
1. TREE LOCATIONS ON PLAN HAVE NOT BEEN SURVEYED. LOCATIONS REFLECT TREE PROTECTION PLAN REPORT PREPARED BY WASHINGTON FORESTRY CONSULTANTS, INC., DATED 12/22/2022.

**CODE REQUIREMENTS:**  
SMC 17.54.140  
TREE RETENTION = 6 TREES/AC \* 6.95 AC = 42 TREES RETAINED WITH DBH >11"  
A VARIANCE WILL BE REQUESTED PER SMC SEC. 17.102.70 TO FULFILL TREE RETENTION REQUIREMENTS AS TREE RETENTION REQUIREMENTS CANNOT BE MET ON-SITE.  
SMC 17.102.10  
TREES ARE DEFINED AS "ANY LIVING, STANDING, WOODY PLANT HAVING A TRUNK 11 INCHES DBH OR GREATER".  
SMC 17.102.20.B.1  
"TREE REMOVAL AS REQUIRED BY THE CITY OR PUBLIC UTILITY FOR THE INSTALLATION OR MAINTENANCE OR REPAIR OF ROADS, UTILITIES OR STRUCTURES" ARE "EXEMPT FROM TREE RETENTION REQUIREMENTS".

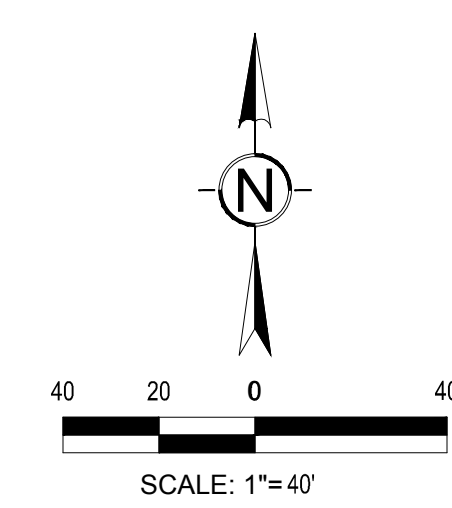
**EXISTING TREE COUNT:**  
TREES IN RIGHT-OF-WAY: 36  
TREES ON-SITE: 38  
TREES OFF-SITE: 8  
TOTAL TREES: 82

**PROPOSED TREE RETENTION/REMOVAL:**  
TOTAL TREES ON-SITE: 82 TREES  
TOTAL TREES REMOVED: 58 TREES  
TOTAL TREES RETAINED: 24 TREES

**EXEMPTIONS (SEE TREE VARIANCE NARRATIVE FOR MORE INFORMATION):**  
<11" DBH REMOVED (EXEMPT PER SMC 17.102.10): 17 TREES  
RIGHT-OF-WAY REMOVED (EXEMPT PER SMC 17.10.20(B)(1)): 23 ADDITIONAL TREES, INCLUDES OFF-SITE TREES E, F, G, AND H.  
TOTAL EXEMPT TREES: 17 + 23 = 40 TREES  
TREE REMOVAL REQUIRING MITIGATION: 58 - 40 = 18 TREES

**TREE MITIGATION**  
SMC 17.102.70  
MINIMUM MITIGATION RATIO: 2:1 RATIO  
MITIGATION TREES REQUIRED: 18 X 2 = 36 MITIGATION TREES  
REFER TO LANDSCAPE PLANS FOR MITIGATION TREES TYPES AND PLACEMENT.

- Save tree in poor condition
- Potential retention tree (11-inch+ DBH and good condition)
- Typical root protection zone radius of one foot per inch of DBH
- Typical minimum construction setback radius of 0.5 feet per inch of DBH



**Attachment 2**

IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY

DATE PLOTTED: 3/7/2023 12:16:39 PM FILENAME: 21129C-10-102.DWG BY: sm